

PORCH PERMIT PLANS FOR:
452 HIBERNIA ROAD, SALT POINT, NY 12578

BUILDING CODE AND REFERENCE STANDARDS:
THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AS ADOPTED AND MODIFIED BY THE LOCAL JURISDICTION SHALL GOVERN THE DESIGN AND CONSTRUCTION OF THIS PROJECT. REFERENCE TO A SPECIFIC SECTION IN THE CODE DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE ENTIRE MATERIALS REFERENCE STANDARDS. THE LATEST EDITION OF THE MATERIALS REFERENCE STANDARDS SHALL BE USED. EXISTING BUILDING SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

DETAILS SCOPE OF WORK DESCRIPTION:
EXISTING SINGLE FAMILY RESIDENCE -LEVEL 2 ALTERATION PERMIT PLANS SCOPE:
- 1. NEW PORCH TO BE INSTALLED
- 2. EXISTING MASONRY PORCH TO BE DEMOLISHED

CLASSIFICATION OF WORK-ALTERATION LEVEL 2:
THE WORK PERFORMED ON THE EXISTING SINGLE FAMILY RESIDENTIAL DWELLING SHALL BE CLASSIFIED AS AN ALTERATION- LEVEL 2 (A)301.5), WHICH INCLUDES THE RECONFIGURATION OF SPACES AS DEFINED IN THE WORK DESCRIPTION. THE USE CLASSIFICATION SHALL BE RESIDENTIAL GROUP R3 WITH CONSTRUCTION TYPE V. EXISTING BUILDINGS SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

GENERAL NOTES:
1. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE BUILDING SITE BEFORE COMMENCEMENT OF WORK
2. ALL DIMENSIONS ARE TO ROUGH FRAMING
3. CONTRACTOR SHALL RECEIVE, STORE AND PROTECT ALL MATERIALS DELIVERED TO THIS SITE FROM WEATHER AND DAMAGE.
4. CONTRACTOR SHALL INSTALL ALL MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE CLEAN UP ON A DAILY BASIS.
6. THE CONTRACTOR SHALL MAINTAIN A SET OF APPROVED PLANS AT THE CONSTRUCTION SITE IN A SAFE PLACE FOR REVIEW BY THE MUNICIPALITY BUILDING INSPECTOR DURING CONSTRUCTION.
7. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.
8. CONTRACTOR SHALL NOT SCALE DRAWINGS.
9. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS. CHECK DETAILS FOR APPROPRIATE LOCATION OF ALL ITEMS NOT DIMENSIONED.
10. ALL CONSTRUCTIONS IS SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTION WITH BUILDING OFFICIAL AND DOCUMENT FOR REVIEW AN INSPECTION REPORT.
11. DISCREPANCIES FOUND BY THE CONTRACTOR BETWEEN FIELD CONDITIONS, NOTES, CONTRACT DRAWINGS, SPECIFICATIONS, AND/OR REFERENCE STANDARDS, THE ENGINEER SHALL DETERMINE WHICH SHALL GOVERN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.

MATERIAL NOTES:
ALL STRUCTURAL FRAMING, LUMBER IN CONTACT WITH CONCRETE, AND ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED TYPE LUMBER. ALL CONNECTORS, BOLTS AND SCREWS SHALL BE OF HOT DIPPED GALVANIZED OR STAINLESS STEEL FINISH. FRAMING CONNECTORS SHALL NOT BE VISIBLE.

FRAMING NOTES:
ALL STRUCTURAL PRODUCTS SHALL BE IDENTIFIED BY GRADE MARK OR CERTIFICATE OF INSPECTION ISSUED BY CERTIFYING AGENCY.

ELECTRICAL NOTES:
THERE IS NO ELECTRICAL SCOPE OF WORK SET FORTH UNDER THIS DRAWING PACKAGE

PLUMBING NOTES:
THERE IS NO PLUMBING SCOPE OF WORK SET FORTH UNDER THIS DRAWING PACKAGE

ILLUMINATION NOTES:
EXTERIOR ILLUMINATION SHALL BE PROVIDED TO EXTERIOR DECK AS REQUIRED BY R303.8
EXTERIOR ILLUMINATION FOR STAIRWAY MAY BE PROVIDED BY MEANS OF SURFACE MOUNTED FIXTURE ON HOUSE OR INTEGRATED LIGHTING IN NEWEL POSTS OR STEPS

DESIGN LOADS:
LIVE LOAD = 40 PSF
DEAD LOAD = 20 PSF
ROOF LIVE = 20 PSF
ROOF (SNOW) = 40 PSF
ALLOWABLE DEFLECTION = L/360

TABLE R301.2 (1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA
2021

Ground	Wind Design			Seismic	Subject to damage from			Winter	Ice Barrier	Flood	Air	Mean
Snow Load	Speed (mph)	Windborne debris zone	Special Wind region	Design Category	Concrete Weathering	Frost Line Depth	Terminle Probability	Design Temp	Underpinment Required	Hazards	Freezing Index	Annual Temp
40 psf	115	No	No	B	Severe	42"	Moderate-H easy	0	Yes	5/02/2012	1246	47.4

FRAMING SCHEDULE

MEMBER	SIZE	SPECIES	GRADE	NOTES
FLOOR JOISTS	2x10	PRESSURE TREATED	NO. 2	16" O.C.
GIRDER	2x12	PRESSURE TREATED	NO. 2	QTY 3
DECKING	1x6	COMPOSITE	-	
POSTS	6x6	PRESSURE TREATED	NO. 2	-
RAILINGS	2x2	COMPOSITE	NO. 2	-
LEDGER	2x12	PRESSURE TREATED	NO. 2	-

METAL CONNECTOR SCHEDULE

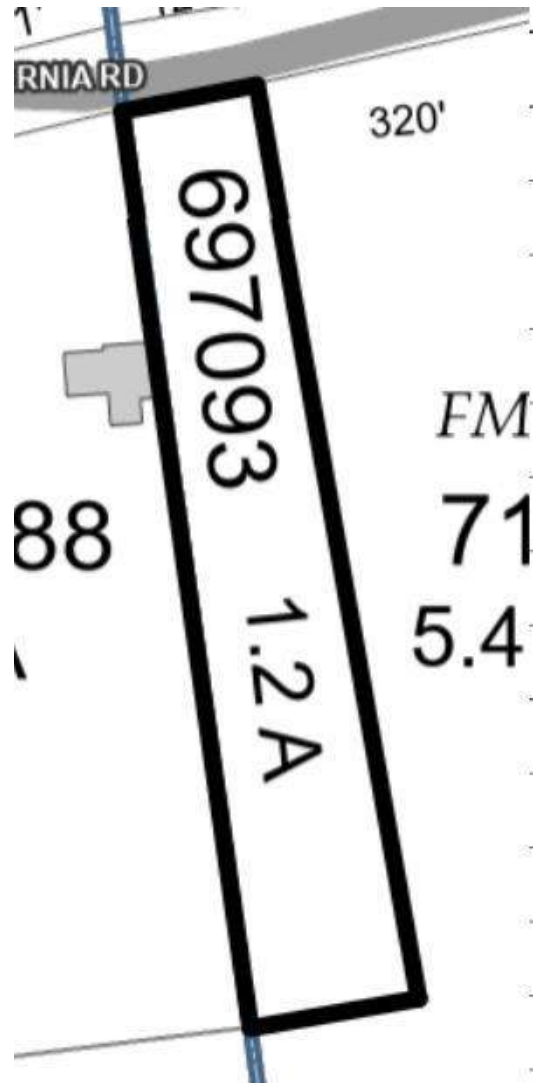
MANUFACTURER	MODEL #	USE
SIMPSON	LUSZ	JOIST TO LEDGER
SIMPSON	BCS 2-3/6Z	POST CAPS GIRDER TO POST
SIMPSON	H2.5AZ	HURRICANE TIES
SIMPSON	LSU26Z	STAIR STRINGER
SIMPSON	A23	STRINGER TO SLAB

1. ALL CONNECTORS TO BE MANUFACTURER BY SIMPSON-STRONGTIE OR APPROVED EQUAL.
2. ALL CONNECTORS TO BE OF GALVANIZED FINISH



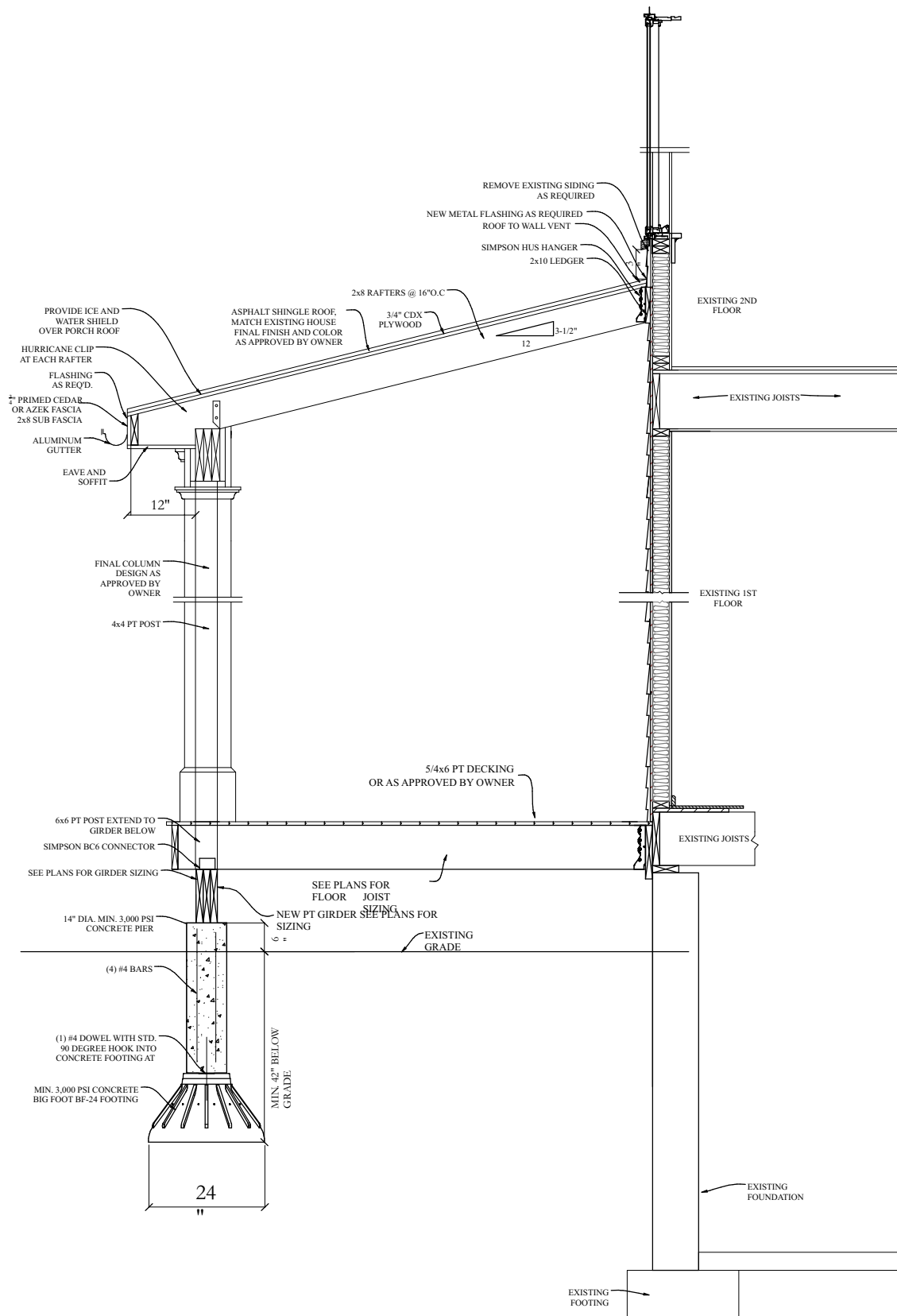
GIS VIEW

SCALE: NTS



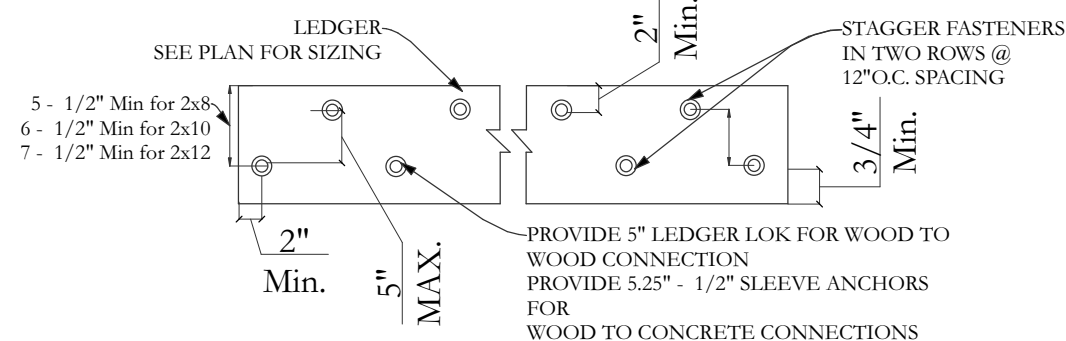
AERIAL VIEW

SCALE: NTS



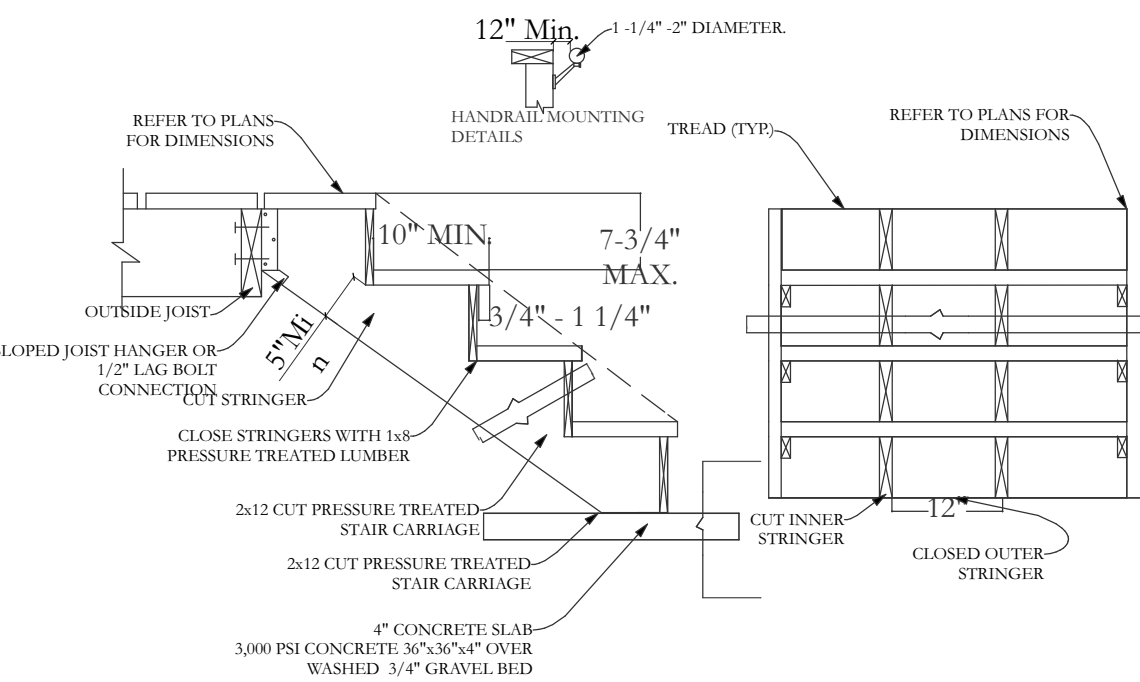
PORCH SECTION DETAIL

SCALE: NTS



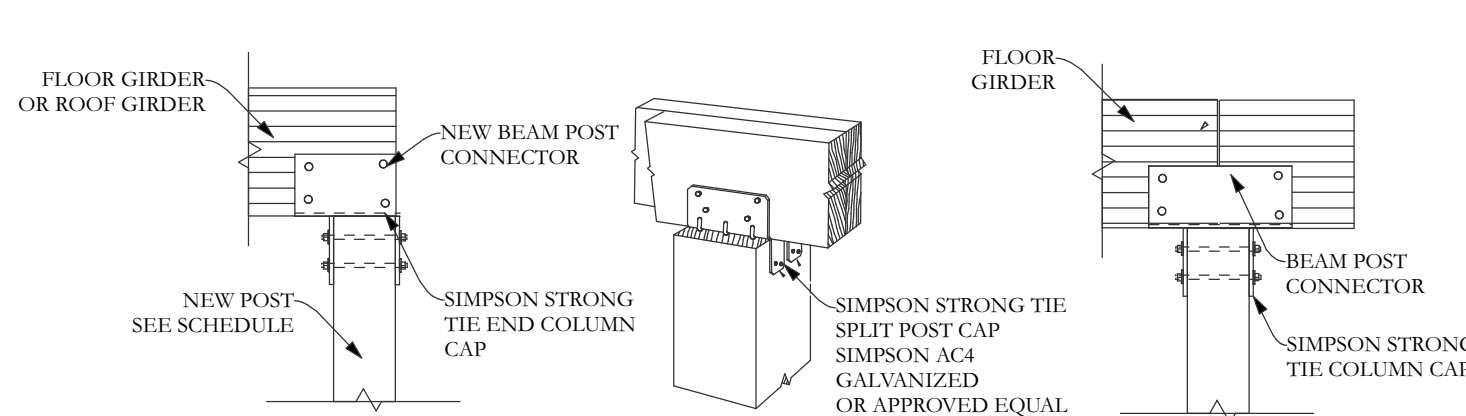
LEDGER DETAIL 2

SCALE: NTS



STAIR DETAIL

SCALE: NTS



POST/GIRDER DETAIL

SCALE: NTS



www.ResReal.com
(914)-330-7712
2875 Route 35
Katonah, NY 10536

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 452 HIBERNIA ROAD
PROJECT TOWN: SALT POINT
BUILDING DEPARTMENT: TOWN WASHINGTON
PROPERTY IDENTIFICATION: 697093
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CLASSIFICATION: RL-5

TO ORDER HARD COPY
SCAN QR CODE
BELOW:



#	DWG	Title
1	G-101	GENERAL NOTES
2	SP-101	SITE PLAN
3	A-101	FLOOR PLANS & ELEVATIONS

ISSUE:	DATE:	NOTES:
0	10/28/2025	ISSUED FOR DOB PERMIT FILING
1	12/30/2025	-
-	-	-
-	-	-
-	-	-
-	-	-

SEAL &
SIGNATURE:

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.



JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

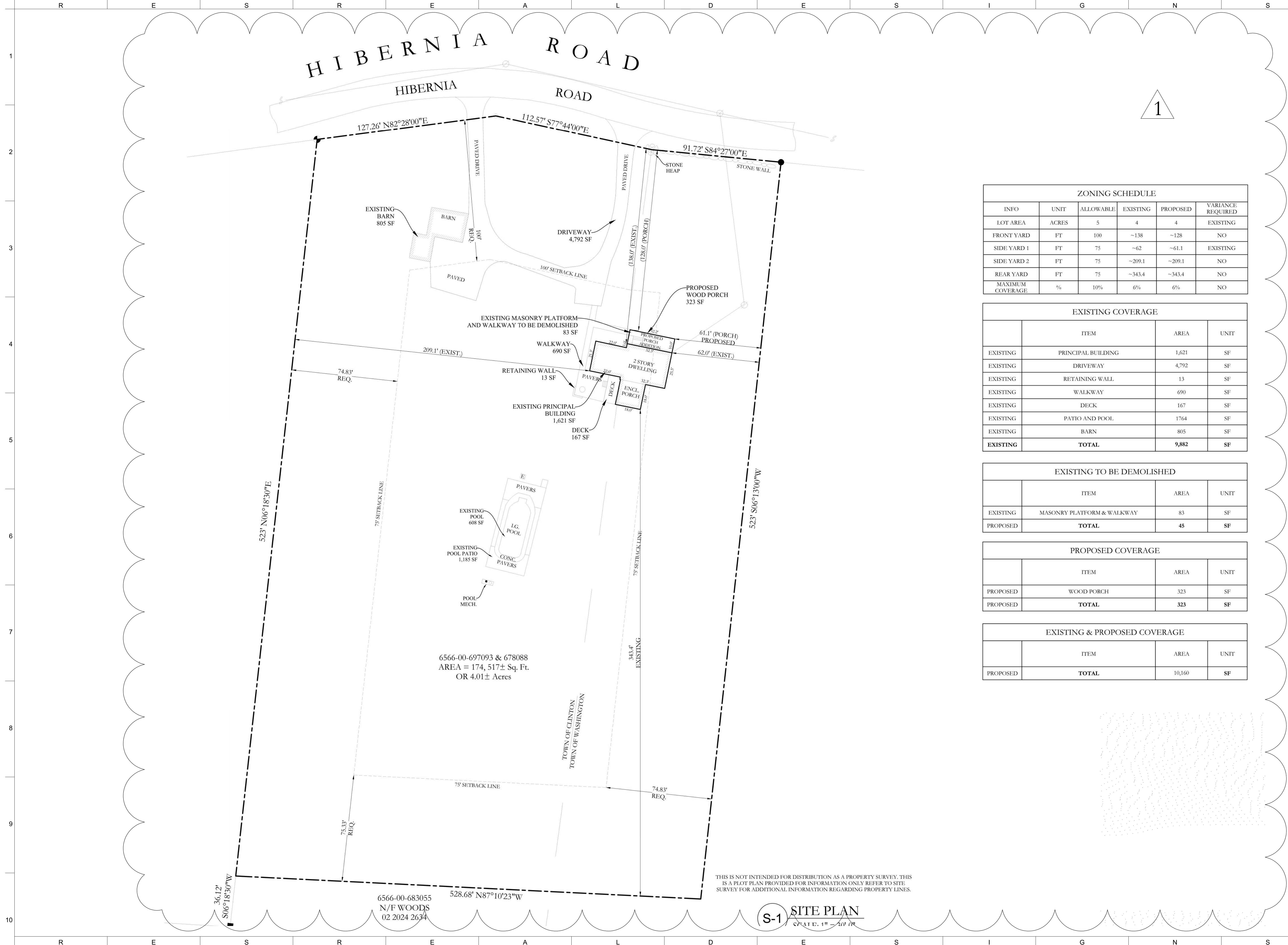
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DRAWING TITLE:
GENERAL NOTES
SHEET 1

G-101

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ZONING SCHEDULE					
INFO	UNIT	ALLOWABLE	EXISTING	PROPOSED	VARIANCE REQUIRED
LOT AREA	ACRES	5	4	4	EXISTING
FRONT YARD	FT	100	~138	~128	NO
SIDE YARD 1	FT	75	~62	~61.1	EXISTING
SIDE YARD 2	FT	75	~209.1	~209.1	NO
REAR YARD	FT	75	~343.4	~343.4	NO
MAXIMUM COVERAGE	%	10%	6%	6%	NO

EXISTING COVERAGE			
	ITEM	AREA	UNIT
EXISTING	PRINCIPAL BUILDING	1,621	SF
EXISTING	DRIVEWAY	4,792	SF
EXISTING	RETAINING WALL	13	SF
EXISTING	WALKWAY	690	SF
EXISTING	DECK	167	SF
EXISTING	PATIO AND POOL	1764	SF
EXISTING	BARN	805	SF
EXISTING	TOTAL	9,882	SF

EXISTING TO BE DEMOLISHED			
	ITEM	AREA	UNIT
EXISTING	MASONRY PLATFORM & WALKWAY	83	SF
PROPOSED	TOTAL	45	SF

PROPOSED COVERAGE			
	ITEM	AREA	UNIT
PROPOSED	WOOD PORCH	323	SF
PROPOSED	TOTAL	323	SF

EXISTING & PROPOSED COVERAGE			
	ITEM	AREA	UNIT
PROPOSED	TOTAL	10,160	SF

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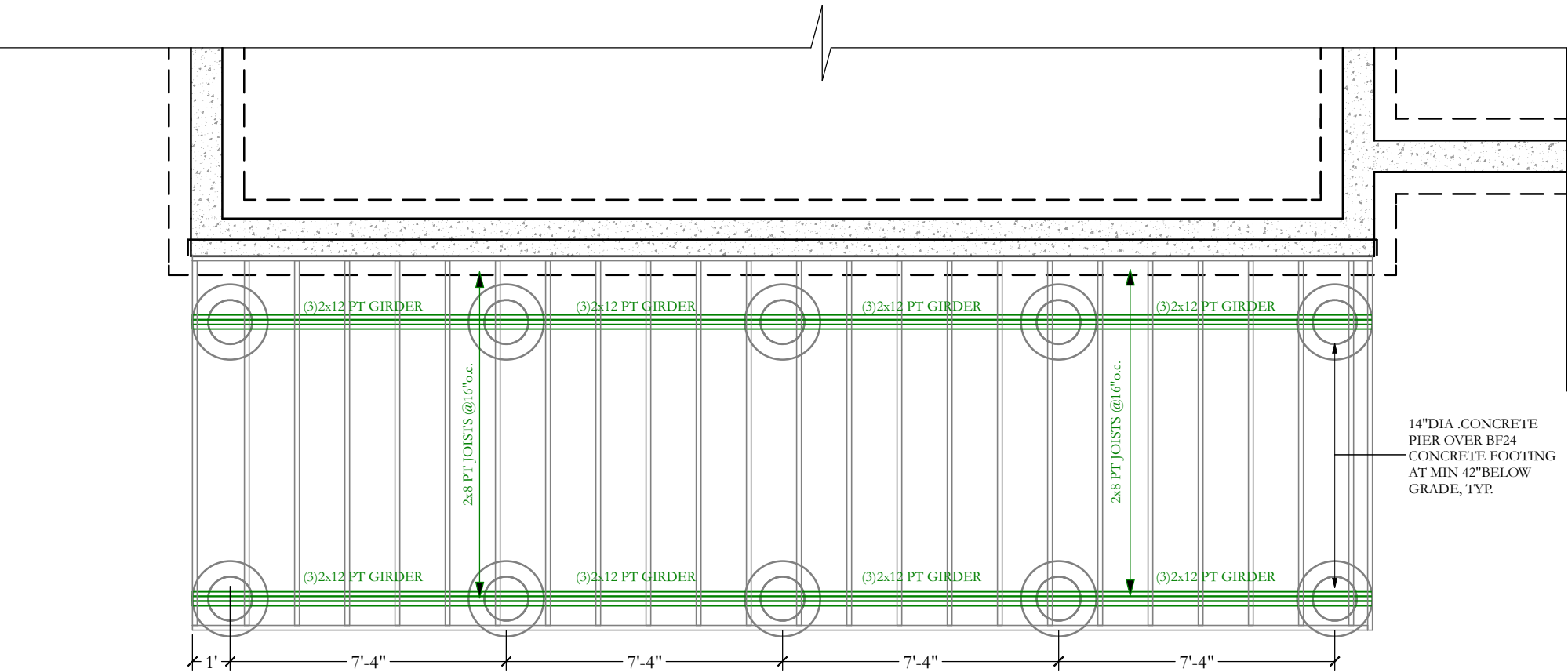
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SHEET 1

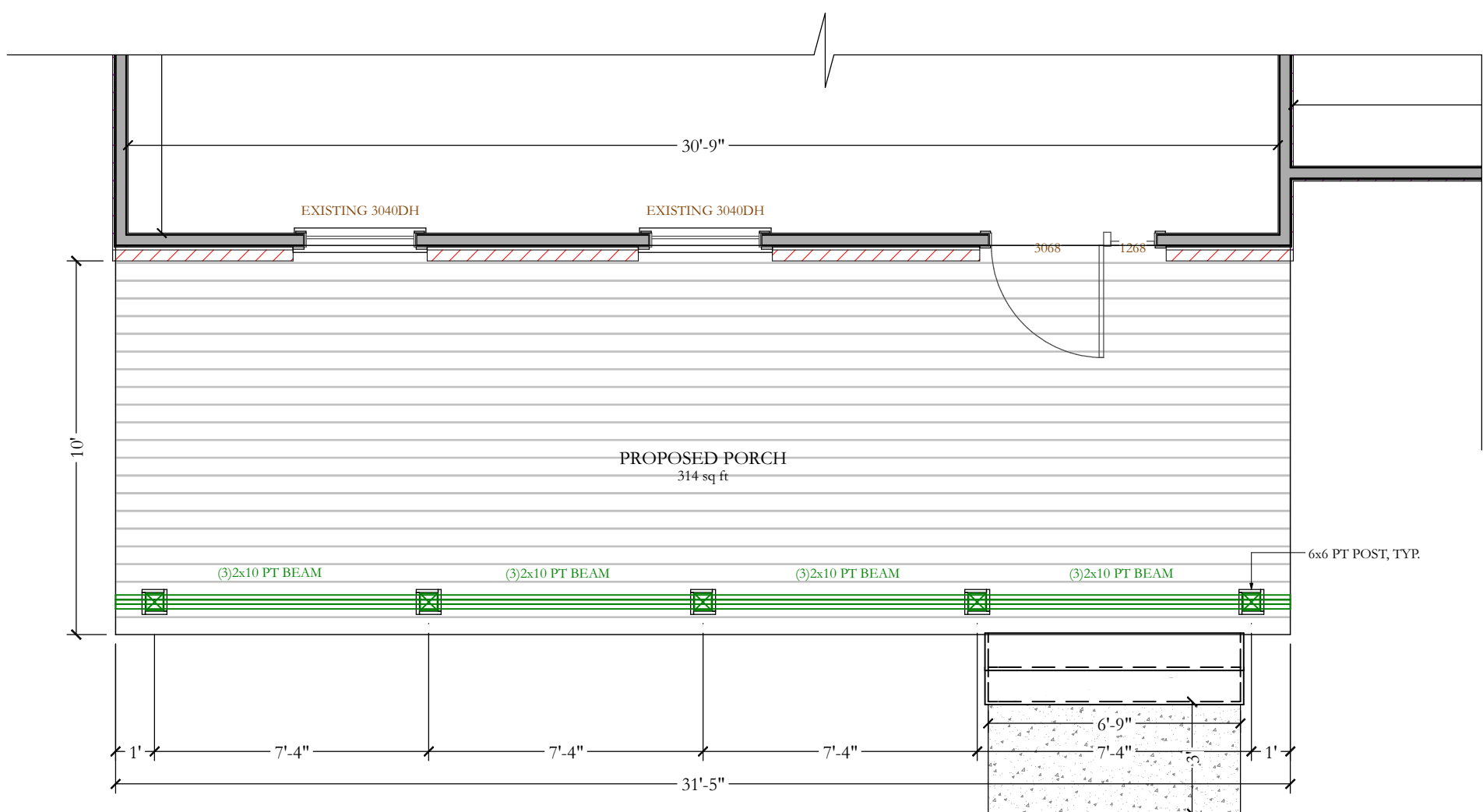
SP-101

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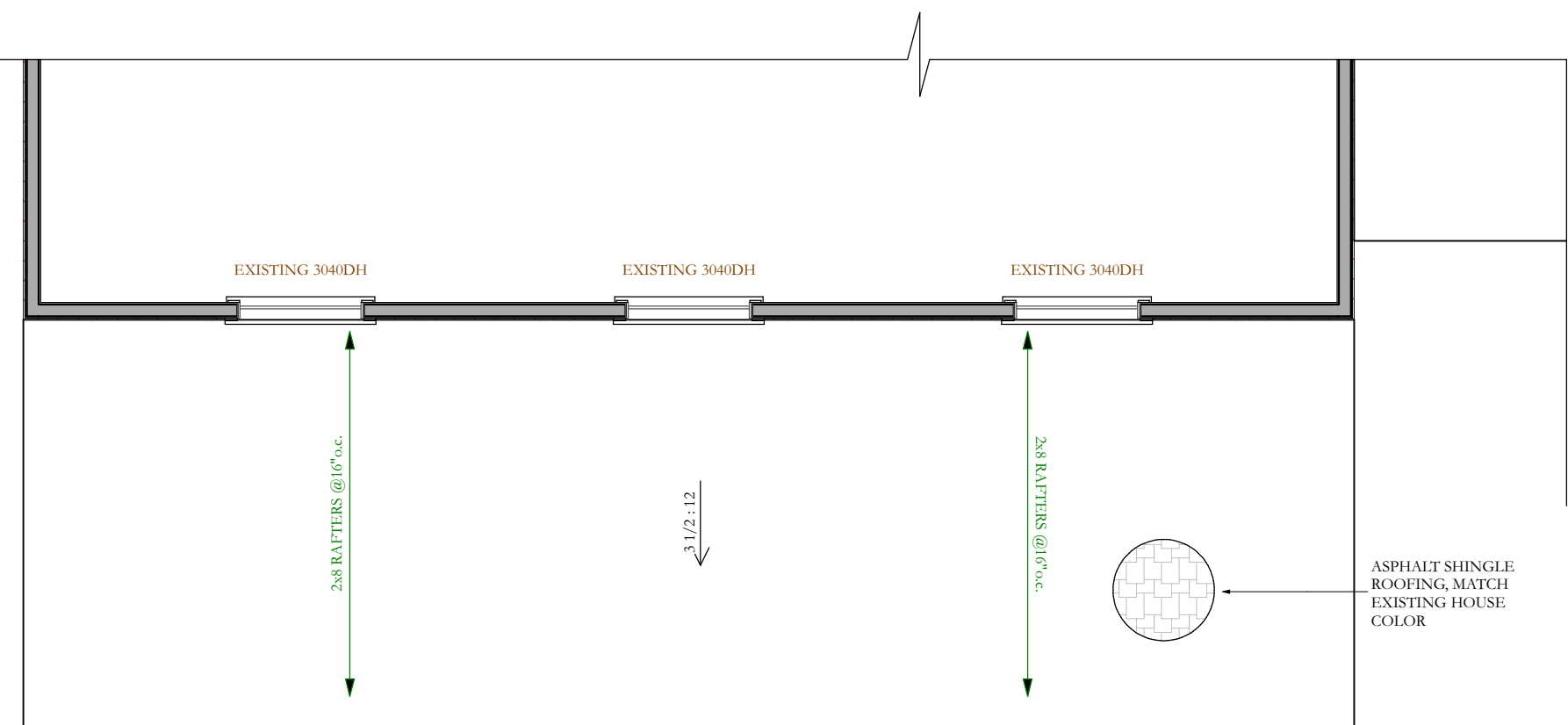
F PROPOSED PORCH FRAMING PLAN

SCALE: 1/4" = 1'-0"



1 PROPOSED PORCH OVERALL PLAN

SCALE: 1/4" = 1'-0"



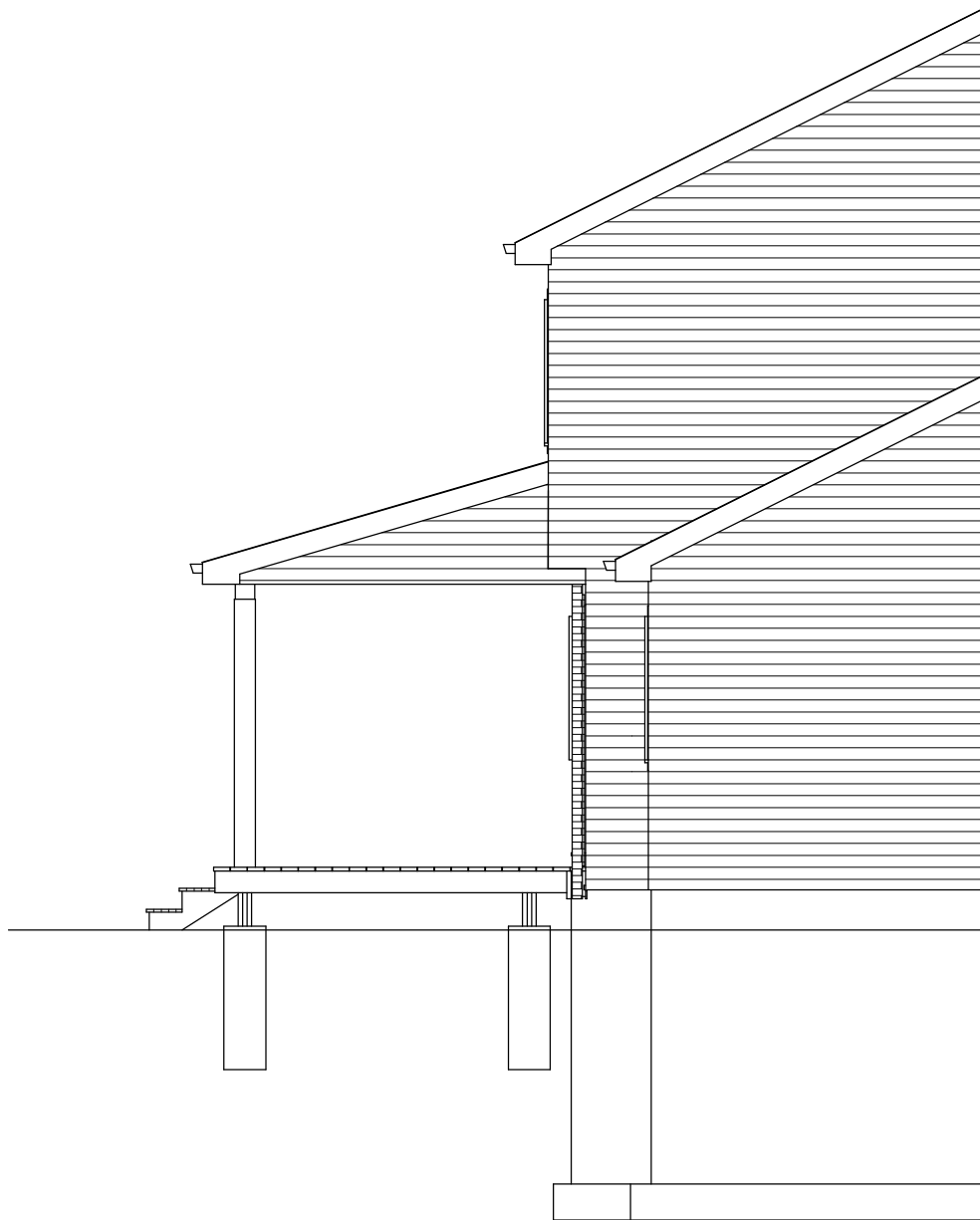
R PROPOSED PORCH ROOF PLAN

SCALE: 1/4" = 1'-0"



E1 PROPOSED FRONT ELEVATION

SCALE: 3/16" = 1'-0"



E2 PROPOSED SIDE ELEVATION

SCALE: 3/16" = 1'-0"



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