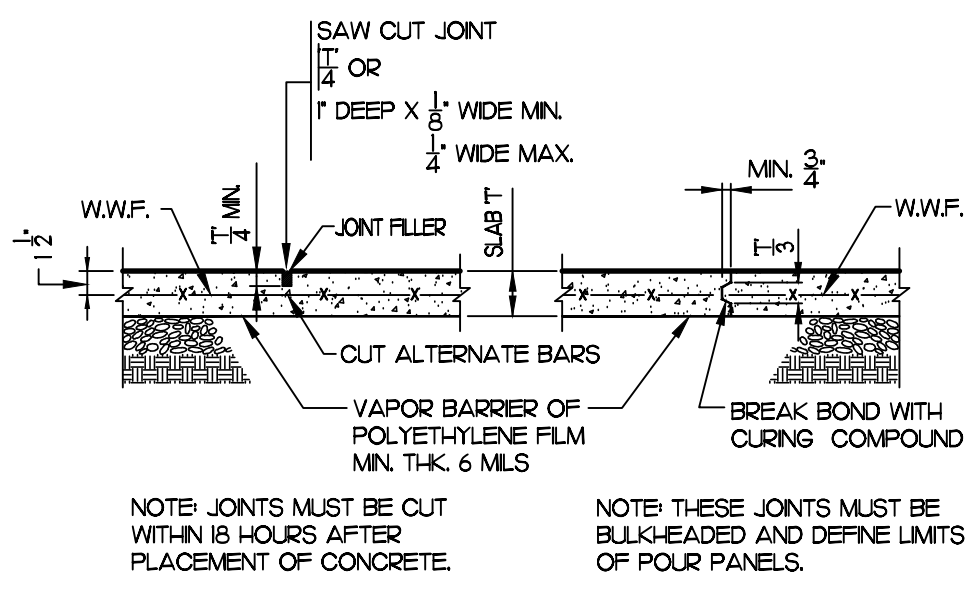


FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

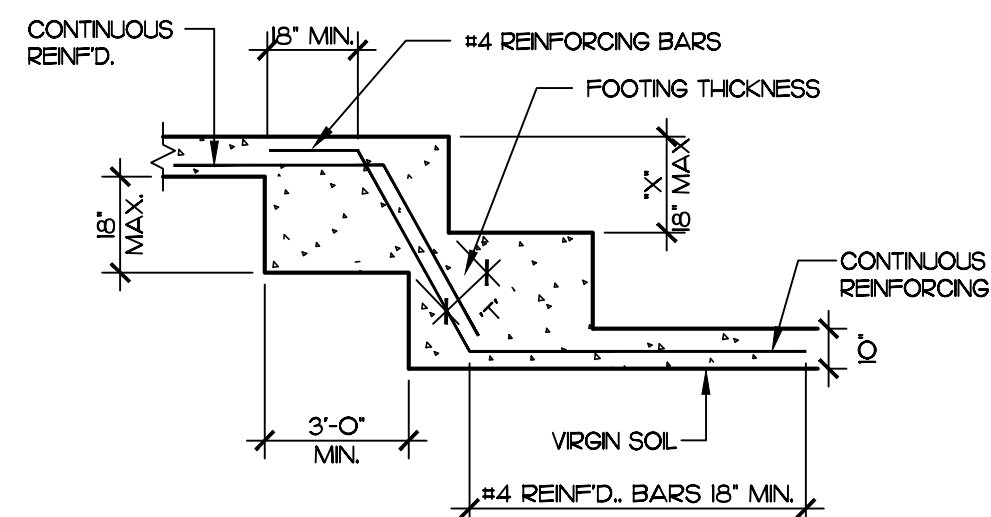
CONCRETE NOTES :

- ALL FOOTINGS TO BEAR ON FIRM UNDISTURBED SOIL. MINIMUM BEARING CAPACITY OF 2,000 POUNDS PER SQ. FT. CONTRACTOR TO NOTIFY ARCHITECT OR ENGINEER WHEN EXCAVATION IS MADE TO VERIFY ABOVE ASSUMPTION. FOOTINGS SHALL NOT BE PLACED ON FROZEN GROUND.
- BOTTOMS OF EXTERIOR FOOTINGS TO BE CARRIED A MINIMUM OF 48" BELOW FINISHED GRADE.
- WHERE FOOTINGS ARE STEPPED REFER TO DETAIL THIS SHEET.
- DO NOT BACK FILL AGAINST FOUNDATION WALLS UNTIL CONCRETE HAS ATTAINED MAXIMUM STRENGTH AND WHERE BACK FILLING IS PLACED AGAINST FOUNDATION WALLS BEFORE FLOOR CONSTRUCTION IS IN PLACE, PROVIDE TEMPORARY BRACING.
- WHERE FILLING IS NECESSARY TO MEET THE REQUIRED SLAB ELEVATIONS PROVIDE GRANULAR FILL COMPACTED TO MINIMUM MODIFIED AASHO DENSITY OF 95%. GRADE TO BE STRIPPED OF ALL TOP SOIL AND DELETERIOUS MATERIAL BEFORE APPLYING FILL.
- PLACE SLABS ON GRADE IN ALTERNATE SECTIONS WITH MAXIMUM AREA OF 1200 SQ. FT. AND MAXIMUM LENGTH OF 40 FT.
- 6A. PLACEMENT CARE SHOULD BE EXERCISED TO PREVENT THE PARTICLES OF SAND AND STONE FROM BEING SEPARATED. DROPPING THE CONCRETE MORE THAN 3 FT. INTO THE FORMS SHALL NOT BE PERMITTED AS THIS TENDS TO PERMIT THE LARGER AGGREGATE TO WORK ITS WAY TO A LOWER LEVEL, THUS PREVENTING A UNIFORM QUALITY. GREAT CARE MUST BE TAKEN TO SEE THAT THE PLASTIC CONCRETE FLOWS PROPERLY INTO ALL CORNERS AND ANGLES OF THE FORMS AND THAT THE REINFORCEMENT IS COMPLETELY SURROUNDED WITH CONCRETE. THE HARDENING OF CONCRETE IS DUE TO THE CHEMICAL REACTION BETWEEN THE WATER AND CEMENT. THIS HARDENING CONTINUES INDEFINITELY AS LONG AS MOISTURE IS PRESENT AND THE TEMPERATURES ARE FAVORABLE. THE CONCRETE IS TO BE PROTECTED THAT THERE IS NO LOSS OF MOISTURE FROM THE SURFACE FOR A PERIOD OF SEVEN DAYS WHEN NORMAL PORTLAND CEMENT IS USED AND THREE DAYS WHEN THE CEMENT IS OF HIGH EARLY STRENGTH. WHEN THE CONCRETE IS HARD ENOUGH TO WALK ON, SLABS MAY BE COVERED WITH BURLAP WHICH IS KEPT WET OR WITH SUITABLE BLANKETS.
- PROVIDE ONE ADDITIONAL LAYER OF WIRE FABRIC OVER CONDUITS, PPES, ETC. WHERE SAME IS EMBEDDED IN OR DIRECTLY UNDER SLAB.
- ALL BARS MARKED CONTINUOUS TO BE LAPPED 50 X DIA'S. AT SPLICES AND CORNERS AND HOOKED AT NON-CONTINUOUS ENDS.
- MINIMUM CONCRETE COVER FOR REINFORCING:
3" FOR FOOTINGS,
2" FOR WALL SURFACES EXPOSED TO EARTH OR WEATHER,
3/4" FOR SLABS AND WALL SURFACES NOT EXPOSED TO THE WEATHER.
- EXPOSED EDGES OF CONCRETE TO HAVE A 3/4" CHAMFER.
- ALL CONCRETE EXPOSED TO THE WEATHER TO BE AIR-ENTRAINED.
- ALL CONCRETE USED IS TO DEVELOP A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:
FOOTINGS, WALLS, AND SLAB ON GRADE (AS REQUIRED)-----4000 P.S.I.
SIDEWALKS (AS REQUIRED)-----3000 P.S.I.
GARAGE FLOOR AND STOOPS (AS REQUIRED)-----4000 P.S.I.



TYPICAL CONCRETE SLAB DETAIL

NOT TO SCALE



STEPPED FOOTING DETAIL

NOTE: MINIMUM 3" CONCRETE IS REQUIRED AROUND ALL REINFORCING BARS.

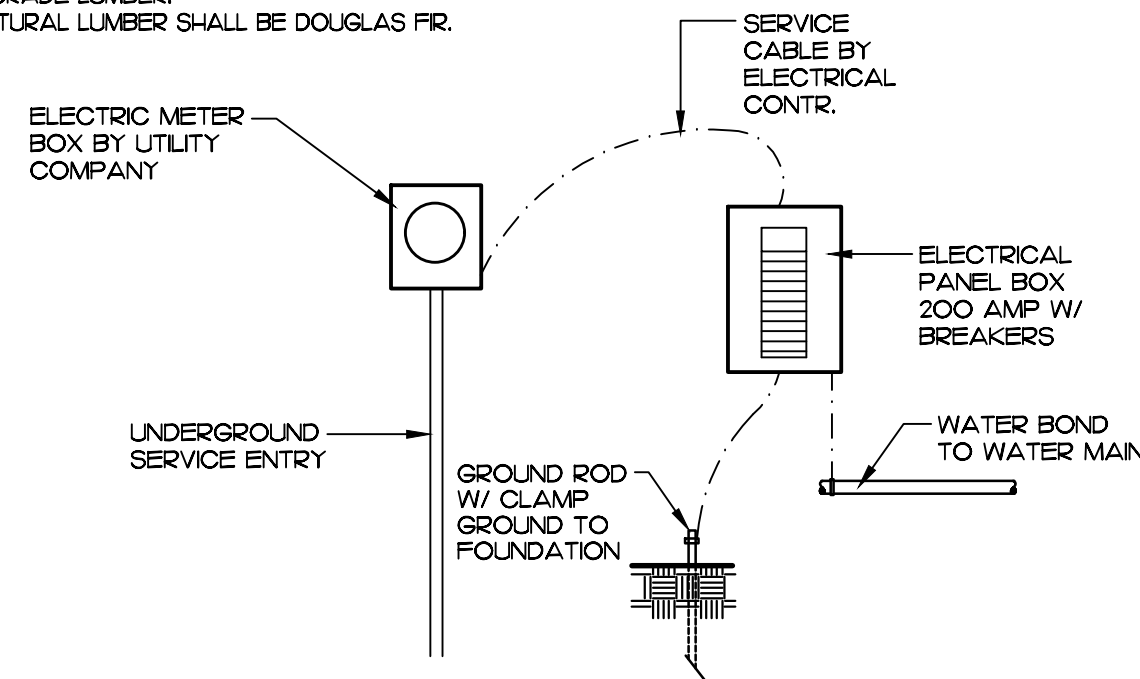
NOT TO SCALE

GENERAL NOTES :

- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL WORK IN ACCORDANCE WITH THE APPLICABLE CODES, 2020 RESIDENTIAL CODE OF NEW YORK STATE, 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE, THE BUILDING DEPARTMENT REGULATIONS, AFFECTED UTILITY COMPANY GUIDELINES AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- ALL CONSTRUCTION SHALL CONFORM TO 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.
- ALL ELECTRICAL WORK PERFORMED SHALL BE APPROVED BY ELECTRICAL INSPECTOR AS PER TOWN OF NEW WINDSOR NEW YORK.
- ALL PLUMBING WORK PERFORMED SHALL BE APPROVED BY THE LOCAL BOARD OF HEALTH OR BUILDING DEPARTMENT.
- THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, ANY OF THEIR AGENTS OR EMPLOYEES OR ANY OTHER PERSONS IN A CONTRACTUAL RELATIONSHIP WITH THE CONTRACTOR OR OWNER PERFORMING ANY OF THE WORK.
- DO NOT SCALE DRAWING. WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. CONTRACTOR SHALL SETUP WORK IN ACCORDANCE WITH EXISTING FIELD CONDITIONS. CONTRACTOR SHALL NOTIFY THE OWNER OR THIS AGENT OF ANY DISCREPANCIES PRIOR TO CONTINUATION OF THE WORK.
- BUILDING PERMITS AND CERTIFICATES OF OCCUPANCY SHALL BE OBTAINED AND PAID FOR BY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS AND INSPECTIONS AS REQUIRED, INCLUDING BUT LIMITED TO, ELECTRICAL INSPECTION FEES, PLUMBING INSPECTIONS, ETC. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR FEES TO LENDING INSTITUTIONS AS REQUIRED FOR RELEASE OF FUNDS. THESE ARE BY OWNER.
- CONTRACTOR SHALL BE FULLY COVERED BY WORKMANS COMPENSATION INSURANCE AND SUCH INSURANCE AS MAY BE REQUIRED BY LOCAL LAWS.
- ALL INSPECTIONS REQUIRED BY THE TOWN OF NEW WINDSOR, AND ALL CODE ENFORCING AGENCIES SHALL BE ARRANGED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING AND VERIFYING ALL DIMENSIONS. ALL FINISHES, ALL OPERATIONS, ETC. OF ALL ITEMS INSTALLED IN THIS PROJECT.
- THE AGREEMENT BETWEEN THE OWNER AND THE ARCHITECT DOES NOT INCLUDE THE FOLLOWING, UNLESS REQUESTED BY THE OWNER UNDER SEPARATE CONTRACT.
A. SUPERVISION OF CONSTRUCTION. THE ARCHITECT WILL NOT BE REVIEWING CONSTRUCTION PROGRESS UNLESS REQUESTED BY THE OWNER UNDER SEPARATE CONTRACT.
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR CUTTING, PATCHING, FILLING AND CLEANING UP AFTER THEIR OWN WORK.
- IN NO EVENT SHALL STRUCTURAL MEMBERS BE CUT OR DRILLED WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.

WOOD FRAMING NOTES

- ALL FRAMING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF NATIONAL DESIGN SPECIFICATION FOR STRESS GRADED LUMBER MANUFACTURERS ASSOCIATION.
- ALL LUMBER MATERIAL USED IN THE BUILDING SHALL BE GOOD, SOUND, DRY MATERIAL FREE FROM ROT, LARGE AND LOOSE KNOTS, SHAKES AND OTHER IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED AND SIZES INDICATED ON DRAWINGS.
- ALL WORKMANSHIP INCLUDING NAILING, BLOCKING, BRIDGING, ETC. SHALL CONFORM TO 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- PROVIDE LEDGER, BLOCKING, NAILERS AND ROUGH FRAMING HARDWARE AS REQUIRED.
- ALL NEW LUMBER SHALL BE DOUGLAS FIR-LARCH NO. 2 OR BETTER.
- ALL LUMBER SHALL BEAR VISIBLE GRADE STAMPING.
- ALL BEAMS AND JOISTS AND RAFTERS TO BE SET WITH NATURAL CROWN UP.
A. ENDS LAPPED OVER BEARINGS TO BE SECURELY SPIKED TOGETHER.
B. FRAME WITH DOUBLE HEADER AND TRIMMERS AROUND OPENINGS LARGER THAN SPACING OF JOIST.
C. JOISTS SHALL BE DOUBLE UNDER ALL PARALLEL PARTITIONS.
D. FIRE CUT ENDS OF JOISTS BEARING IN MASONRY FIREWALLS, MIN. BEARING 4"
E. PROVIDE SIMPSON OR EQUAL METAL JOIST HANGERS (TO SUIT SIZE OF JOIST) AT JOISTS TO FLUSH HEADERS AND BEAMS.
- PROVIDE DOUBLE RAFTERS AND HEADERS AROUND ALL OPENINGS UNLESS OTHERWISE NOTED ON PLAN.
- ALL WOOD PLATES IN DIRECT CONTACT WITH CONCRETE SHALL BE TREATED LUMBER.
- PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE GRADE CD-EXTERIOR GLUE OR STRUCTURAL II-EXTERIOR GLUE. PLYWOOD THICKNESS SHALL BE AS INDICATED ON DRAWINGS. GLUE AND NAIL ALL PLYWOOD TO SUPPORT MEMBERS. PLYWOOD UNDERLAYMENT FOR CERAMIC TILE SHALL BE GLEUED AND SCREWED TO SUBFLOORS.
- PLYWOOD SHALL BE GLEUED AND NAILED TO JOISTS WITH 8D COMMON NAILS AT 6" ON CENTER AT EXTERIOR EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS.
- COLLAR TIES SHALL BE 2 X 6 SPACE 16" O.C.
- FRAMING:
A. DECK FRAMING, AND SILL PLATES SHALL BE PRESSURE TREATED EXTERIOR GRADE LUMBER.
B. ALL STRUCTURAL LUMBER SHALL BE DOUGLAS FIR.



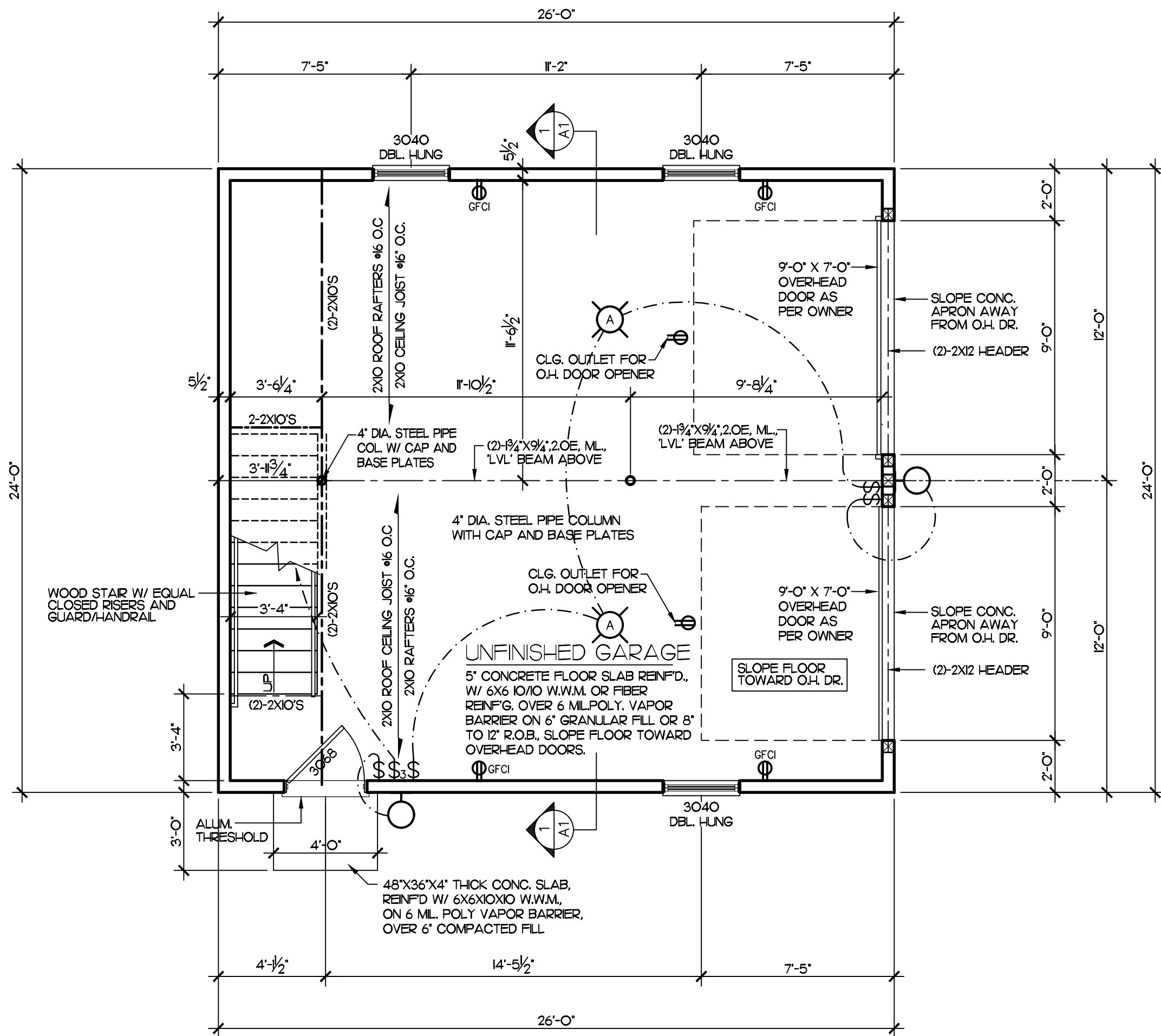
ELECTRIC SERVICE

NOT TO SCALE

NOTE: ELECTRICAL WORK TO CONFORM WITH THE NEC NATIONAL ELECTRICAL CODE.

TOWN OF WASHINGTON
DUTCHESS COUNTY, NEW YORK
TABLE R301.2 (1) CLIMATIC GEOGRAPHIC DESIGN CRITERIA

Ground		Wind Design		Seismic	SUBJECT DAMAGE FROM			Winter	Ice Barrier	Flood	Air	Mean
Snow Load	Speed (mph)	Windborne debris zone	Special Wind region	Design Category	Concrete Weathering	Frost Line Depth	Termites Probability	Design Temp	Underlayment Required	Hazards	Freezing Index	Annual Temp.
40 psf	115	NO	NO	B	Severe	42"	Moderate-H eavy	0	Yes	5/02/2012	1246	47.4



FLOOR PLAN

NOTES

SCALE: 1/4" = 1'-0"

- WINDOWS ARE ANDERSEN 200 SERIES OR EQUAL DOUBLE HUNG W/ HIGH-PERFORMANCE GLASS, U-VALUE<0.30 AND SNAP IN SCREENS.
- SAFETY GLASS WHERE REQUIRED TO BE INSTALLED. ALL EXIT DOORS STORM DOORS (AS PROVIDED).
- ELEVATION OF GARAGE, PORCHES, STOOPS, AND GRADE LINES SHOWN ON DRAWINGS ARE SUBJECT TO CHANGE TO MEET TOPOGRAPHICAL CONDITIONS.
- FINAL LOCATION OF ALL ELECTRICAL OUTLETS, FIXTURES AND SWITCHES TO BE VERIFIED AND APPROVED BY OWNER

NOTE:

1. ALL EXTERIOR WALLS TO BE 2X6 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.

ELECTRICAL NOTES:

- ENTRANCE PANEL - 40 BREAKER SPACES, 200 AMP CAPACITY.
- CONVENIENCE AND APPLIANCE RECEPTS. 12" ABOVE FLOOR.
- OUTDOOR LIGHTS 78" ABOVE FLOOR.
- ALL MODULAR CROSSOVER CIRCUITS PERTAINING TO CONVENIENCE AND HEAT CIRCUITS SHALL TERMINATE IN JUNCTION BOXES.
- SMOKE DETECTORS WILL NOT BE PLACED ON ANY SWITCHED BRANCH OF CIRCUIT OR ANY GFI CIRCUIT AND SHALL BE WIRED IN SERIES FOR SPONTANEOUS ACTIVATION.
- ALL ELECTRICAL WORK TO BE DONE IN ACCORDANCE WITH APPLICABLE STATE ELECTRICAL CODE.
- ALL ELECTRICAL OUTLETS SHALL BE CHILD PROOF.
- RECEPTACLES EXTERIOR AND BATH-ROOM AND KITCHEN PROTECTED BY GFCI CLASS "A".
- 3-WAY SWITCH AT BASEMENT LIGHT AND GARAGE LIGHTS.
- SWITCHES AND RECEPTACLES ABOVE COUNTER TOP @ 48" INCHES AFF. ALL OTHER RECEPT. IS INCHES AFF.
- WALL SWITCHES TO CONTROL TOP OUTLET ON DUPLEX RECEPTACLES IN BEDROOM WHEN CEILING LIGHTS ARE NOT PROVIDED.
- THE MAIN SERVICE DISCONNECT SHALL BE INSTALLED AT A READILY ACCESSIBLE LOCATION NEAREST TO THE POINT OF ENTRANCE OF THE SERVICE CONNECTORS AS PER NEC SECTION 230-70A.
- BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, BEDROOMS, SLEEPING ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS AND SIMILAR ROOMS OR AREAS SHALL HAVE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION

PLAN LEGEND

- NEW WALL CONSTRUCTION.
- NEW 2'-6" X 6'-6" DOOR AND FRAME
- NEW WINDOW
- GFCI - DUPLEX RECEPT. W/ GROUND FAULT INTERRUPTER
- SINGLE POLE TOGGLE SWITCH
- 3-WAY SWITCH
- SURFACE MOUNTED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE

REVISIONS

BY

ROBERT M. SEARS * ARCHITECT

1930, ROUTE 300, APT.#4, TEL. (845) 476-4859

NEWBURGH, NEW YORK 12550

FLOOR PLAN, FOUNDATION PLAN, DETAILS, SCHEDULES AND NOTES

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO REPRODUCE, COPY, ALTER, OR IN ANY MANNER, EITHER WHOLLY OR IN PART, ANY OF THE CONTENTS OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY SUCH VIOLATION SHALL BE SUBJECT TO THE PENALTIES PROVIDED BY LAW. THE ARCHITECT SHALL AFFIX TO HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NEW TWO-CAR GARAGE FOR:
261 MILLWOOD ROAD
MILLBROOK, NEW YORK 12545

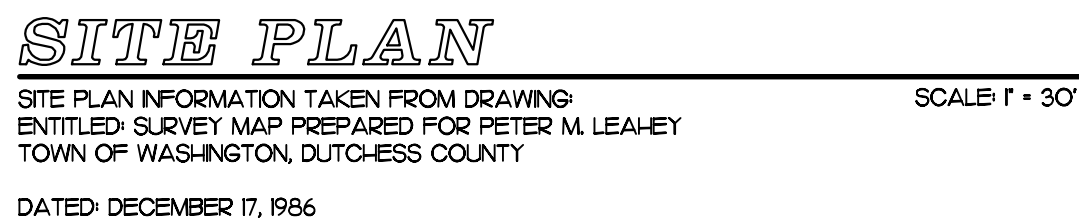
DATE: SEPTEMBER 25, 2025

SCALE: AS NOTED

DRAWN: RMS

JOB: 202501

SHEET: A-1



NEW TWO-CAR GARAGE FOR: 251 MILLEWOOD ROAD MILLEBROOK, NEW YORK 12545		IT IS A VIOLATION OF THE LAW FOR ANY PERSON TO CONSTRUCT OR CAUSE TO BE CONSTRUCTED A BUILDING, TO BE USED IN THE MANNER OF A BUILDING, WITHOUT THE PERMIT OF THE BOARD OF ZONING APPEALS. IF THE BOARD OF ZONING APPEALS FINDS THAT THE ABOVE DESCRIBED VIOLATION HAS OCCURRED, IT MAY ORDER THE VIOLATION TO BE STOPPED, AND MAY ORDER THE VIOLATION TO BE REMEDIED. IF THE VIOLATION IS NOT REMEDIED, THE BOARD OF ZONING APPEALS MAY ORDER THE VIOLATION TO BE REMEDIED BY THE BOARD OF ZONING APPEALS. IF THE VIOLATION IS NOT REMEDIED, THE BOARD OF ZONING APPEALS MAY ORDER THE VIOLATION TO BE REMEDIED BY THE BOARD OF ZONING APPEALS.		ROBERT M. SEARS * ARCHITECT 1930, ROUTE 300, APT.#4, TEL. (845) 476-4859 NEWBURGH NEW YORK 12550		REVISIONS		BY	
DATE: SEPTEMBER 25 2025 SCALE: AS NOTED DRAWN: RMS JOB: 202551 SHEET:				SITE PLAN					
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