



Town of
Washington

**TOWN OF WASHINGTON
PLANNING BOARD**

10 Reservoir Drive • P.O. Box 667 Millbrook,
NY 12545 • (845) 677-3419 EXT 116 •
planningboard@washingtontny.org

PRE-APPLICATION MEETING REQUEST FORM

SUBMIT THIS FORM IF YOU WOULD LIKE TO SCHEDULE A MEETING WITH THE PLANNING BOARD TO DISCUSS YOUR PROJECT AND ASK QUESTIONS BEFORE YOU FILE A FORMAL APPLICATION.

Submit this Form and four copies, together with the required \$500 fee, to:

Planning Board Secretary
Town of Washington
10 Reservoir Drive
Millbrook, NY 12545
T: (845) 677-3419, Ext. 116
F: (845) 677-2085

With electronic copy (including any maps or plans you choose to include) to:

Planning Board Secretary
planningboard@washingtontny.org

The digital copy shall be in a pdf, jpeg or other suitable write-protected image format capable of being opened and viewed using standard Windows-based software. If available, you may attach or email plans, survey, pictures, diagrams with dimensions and material samples. These are not required for this meeting but may be helpful.

Name of Applicant - (may be architect, engineer or other design professional):

Matthew Soleau AS AGENT for Edward Jones

Business Name: Hyalite Builders, LLC

Address: 30 Wakeman Rd.

Millerton, NY 12546

Telephone: 631-255-5751

Email Address: matt@hyalitebuilders.com

Name of Record Owner(s) of Property: Brian Kiernan; Adirondack Prop Sltns LLC

Address: 3699 Rt. 44

Millbrook, NY 12545

Telephone: 914-589-9949

Email Address: bfkiernan@icloud.com

Applicant Name: Matthew Soleau AS AGENT for Edward Jones

PROJECT LOCATION:
3699 Rt. 44, Millbrook, NY 12545

PARCEL ID #: 135889 6865-03-367384-0000

DESIGN PROFESSIONAL/CONSULTANT NAME (if, any):
Raymond Nelson - Earthwise Architecture

FIRM ADDRESS:
Raymond Nelson - Earthwise Architecture

TELEPHONE: (845) 233-1133 EMAIL: earthwsearch@gmail.com

DESCRIBE PROJECT:

Interior alteration and remodel of existing 1st floor Professional Office.
Removal of existing finishes per plan.
New partitions, lighting, electrical distribution per plans.
Reconfiguration of (1) ADA bathroom per plans.
Installation of new floor, wall and ceiling finishes per plans.
Install pantry cabinets per plans.
Retain existing mechanical / HVAC systems.

SIGNATURE:  DATE: 1/27/25

REQUIRED: Check for a nonrefundable application fee of \$500.00 made out to the Town of Washington

Applicant Name: _____



TOWN OF WASHINGTON PLANNING BOARD
PlanningBoard@Washingtonny.org
10 Reservoir Dr, PO Box 667
Millbrook, NY 12545
845-677-3419

THIS DOCUMENT MUST BE SIGNED BEFORE A NOTARY PUBLIC

PLEASE NOTE: If ownership is held by a corporation, LLC, jointly or in partnership, each owner and/or partner must sign a separate owner's endorsement.

OWNER'S ENDORSEMENT

STATE OF NEW YORK)

COUNTY OF DUTCHESS) ss:

BRIAN KIERNAN, being duly sworn, deposes and says:

- I am: (check one)
- 1. the sole owner in fee (One individual on the tax roll)
 - 2. a part owner in fee (Two or more individuals on the tax roll)
 - 3. an officer of the corporation which is the owner in fee of the premises described in the foregoing application.
 - 4. designated party authorized to act pursuant to a trust or legal document. (Trustees listed on tax roll)
 - 5. member/owner(s) of Limited Liability Corporation (LLC).

(If you checked #3, #4 or #5, you must attach proof of authority (i.e.: Corporate Resolution, Surrogate Letter, Executor of the Will, Certified Letter of Testamentary, Letter of Administration, Attorney-Opinion Letter, Letter or Probate, Power of Attorney)

I reside at 2504 Rt. 44

City SALT POINT State NY Zip 12578

I have authorized (name) MATTHEW SOLEAU of HYALITE BUILDERS

_____ (name of company) to make the foregoing application to the Town of

Washington for approval as described herein for the property located at
3699 Rt. 44 Millbrook NY 12545 Property ID # _____

Signature: [Handwritten Signature]

If owner is a corporation or LLC, please indicate name of the entity and title of the officer whose signature appears above.

Sworn to before me this
24 day of JANUARY, 20 25
Notary Public LISA EVANGELISTA
Commission expires: 7/22/2025



Notary Stamp: [Handwritten Signature]
Proof of Authority is attached. Type of Authority: _____

Applicant Name: Matthew Soleau AS AGENT for Edward Jones



Town of
Washington

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NY 12545 • (845) 677-3419 EXT 116 •
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AFFIDAVIT TO BE COMPLETED BY AGENT OF OWNER

State of NEW YORK }
County of DUTCHESS } ss:

Matthew Soleau being duly sworn, deposes and says:

1. That he/she is the agent named in the foregoing application for Special Use Permit and Building Permit(s) 3699 Rt. 44, Millbrook, NY and that he/she has been duly authorized by the owner in fee to make such application and that the foregoing statements contained therein are true to the best of his/her knowledge and belief.
2. That he/she resides at 30 Wakeman Rd., Millerton, NY 12546 in the County of Dutchess and the State of New York.
3. That he/she is the Agent / Construction Manager of the within property as described in the foregoing application for Planning Board approval and that the statements contained therein are true to the best of his/her knowledge and belief.
4. That he/she understands that the Town of Washington Planning Board intends to rely on the foregoing representations in making a determination to issue the requested applications and approvals and that under penalty of perjury he/she declares that he/she has examined this affidavit and that it is true and correct.

[Signature] 1/27/25
Agent

Matthew Soleau
Agent

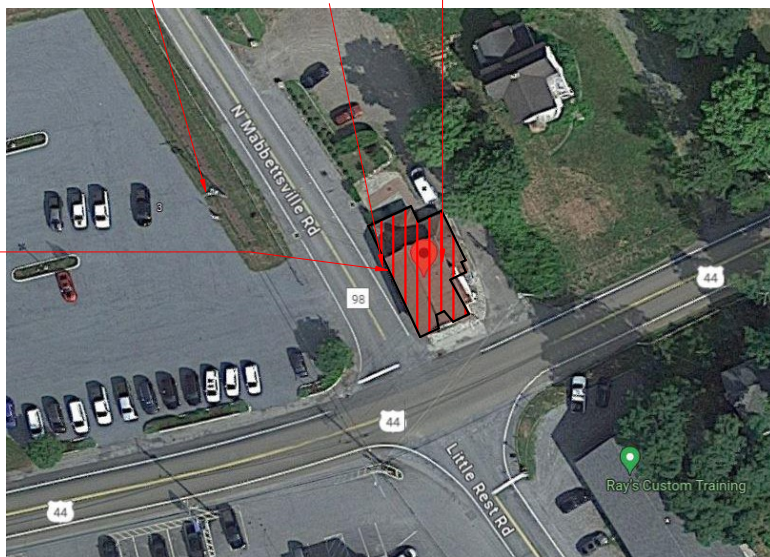
[Signature]
Notary Public

LISA EVANGELISTA
NOTARY PUBLIC STATE OF NEW YORK
Qualified in Dutchess County
Registration No 01EV6286423
Commission Expires 7/22/2025

SITE PLAN

POLE MOUNTED TRANSFORMER ELECTRIC METER LEASE SPACE

DMARC



1 AERIAL VIEW
N.T.S.

BUILDING INFORMATION

CONSTRUCTION TYPE: WOOD FRAMING / BRICK & WOOD EXTERIOR
OF FLOORS: MULTI-STORY, EDJ ON LEVEL 1
FIRE PROTECTION: NON-SPRINKLERED
OCCUPANCY USE GROUP: B-BUSINESS

CONSTRUCTION SCHEDULE: CONFIRM WITH LANDLORD
BUILDING RULES / REGULATIONS: DUMPSTER / PATH OF TRAVEL / PARKING / DELIVERIES LOCATED ANYWHERE IN PARKING LOT. DUAL ENTRANCES AND EXIT

LOW VOLTAGE PERMIT UTD / ASBESTOS REPORT REQ'D / ENERGY COMPLIANCE REPORT REQ'D

PLAN NORTH VS TRUE NORTH

PLAN NORTH IS BASED ON THE PREDOMINANT AXIS OF THE BUILDING GEOMETRY. FOR THIS PROJECT, PLAN NORTH POINTS TOWARDS THE TOP OF THE DRAWING AREA. ALL VIEWS IN THIS DRAWING SET USE PLAN NORTH AS ITS ORIENTATION.

TRUE NORTH IS THE REAL-WORLD NORTH DIRECTION BASED ON SITE CONDITIONS. TRUE NORTH INFORMATION IS NOT USED OR PROVIDED FOR THESE DOCUMENTS.

EXTERIOR SIGN CIRCUIT INSTALLATION INSTRUCTIONS

GENERAL CONTRACTOR (GC) TO VERIFY EXISTENCE AND FUNCTIONALITY OF SIGN CIRCUIT ALONG SIGN BAND SERVING SUBJECT SPACE. EXISTING CIRCUIT MUST BE LOCATED IN/ON THE SIGN BAND ABOVE THE SUBJECT SPACE AND WITHIN SIX FEET (6') OF THE CENTERLINE OF THE SPACE. THE CIRCUIT SHOULD BE A DIRECT FEED FROM THE ELECTRICAL PANEL WITHIN THE TENANT SPACE AND BE FED THROUGH A F AND/OR BE DEEMED NONFUNCTIONAL, GO TO SIGN CIRCUIT, PHOTOCELL AND JUNCTION BOX TO BE INCLUDED IN THE BASE ELECTRICAL BID FOR THE PROJECT AS WELL AS FINAL CONNECTION OF SIGN BY ELECTRICIAN IF REQUIRED BY CODE. EXTERIOR SIGNAGE TO BE PROVIDED AND INSTALLED BY TENANT'S SIGN CONTRACTOR (UNDER A SEPARATE PERMIT) GENERAL CONTRACTOR TO COORDINATE ELECTRICAL REQUIREMENTS WITH SIGN VENDOR.

NOT APPLICABLE

Edward Jones

BRANCH REAL ESTATE

BRANCH OFFICE: 23856

**3699 ROUTE 44,
SUITE 1,
MILLBROOK, NY 12545**

PROJECT CONTACT INFORMATION

LEASING MANAGER

JOHN MILLER p: 440.666.5394
e: JOHNATHAN.MILLER@CUSHWAKE.COM

CONSTRUCTION MANAGER

MICHAEL ARROYO p: 314.515.4596
e: MICHAEL.ARROYO.CUSHWAKE.COM

PROJECT DESIGNER

COURTNEY MEHNER p: 314.515.2729
e: COURTNEY.MEHNER@CUSHWAKE.COM

BUILDING OWNER / PROPERTY MANAGER

BRIAN KIERNAN p: 845.600.9562
e: ADKREALTYMGMT@GMAIL.COM

FLOORING CONTACT:

INTERFACE SERVICES - MELANIE TAYLOR
<https://edwardjones.guides.interface.com/global-products-standards>
p: 770.975.4801 | e: EDWARDJONES@INTERFACE.COM

EDJ LOGO CONTACT:

METAL LOGOS - DEB GORAT
p: 402.339.3264 | e: DEB@METALLOGOS.COM

BRAND WALL REVEAL CONTACT:

FRY REGLET - JASON TOWNS
p: 1.800.237.9773 | e: JASONTOWNS@FRYREGLET.COM | ORDERS@FRYREGLET.COM

LIGHTING CONTACT:

VILLA LIGHTING - HEATHER WILKS
p: 314.633.0415 | e: HEATHER.WILKS@VILLALIGHTING.COM

WINDOW TREATMENT CONTACT:

BB COMMERCIAL SOLUTIONS - KEY ACCOUNT
COURTNEY HEATON p: 949.404.1148, ANGELA CARSWELL p: 949.404.1140
e: EDWARDJONES@BBCOMMERCIALSOLUTIONS.COM

GENERAL NOTES

- ALL ITEMS TO BE COMPLETED PER EDWARD JONES SPECIFICATIONS U.N.O.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS; IF THERE ARE ANY CHANGES, REVISIONS, OR DISCREPANCIES, CONTACT CONSTRUCTION MANAGER.
- EXISTING AND NEW PARTITION DIMENSION MAX. TOLERANCE IS 4" UNLESS NOTED AS HOLD.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, PROVINCIAL, NATIONAL, AND ALL OTHER APPLICABLE BUILDING CODES.
- ALL NEW CONSTRUCTION AND MODIFICATIONS SHALL FULLY COMPLY WITH ADA AND BUILDING CODE ACCESSIBILITY REQUIREMENTS.
- CONTRACTOR TO CONTACT CITY TO DETERMINE IF CHANGES ARE NEEDED TO COMPLY WITH ALL LOCAL, STATE, PROVINCIAL, AND/OR NATIONAL CODES. INCLUDING FIRE MARSHALL FOR SPRINKLER AND ALARM SYSTEMS. NOTIFY CONSTRUCTION MANAGER IF ANY DISCREPANCIES ARE FOUND OR REVISIONS ARE NEEDED.
- CONTRACTOR MUST SATISFY ALL LANDLORD REQUIREMENTS AND ALL WORK IDENTIFIED ON TENANT'S FINAL PUNCH LIST

TABLE OF CONTENTS

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- PARTITION PLAN
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- ELEVATIONS + DETAILS
- REFLECTED CEILING PLAN
- FINISH SPECIFICATIONS
- FINISH SPECIFICATIONS
- FINISH SPECIFICATIONS

LEGEND

E	EXISTING		DUPLEX RECEPTACLE
L	LANDLORD'S RESPONSIBILITY		QUADRUPLEX RECEPTACLE
	ELEVATION TAG (IF APPLICABLE)		DEDICATED SIMPLEX RECEPTACLE TO BE MARKED WITH "D" & ORANGE
	VIEW NUMBER ON SHEET	GFI	GFI DUPLEX RECEPTACLE
		R	RECESSED DUPLEX RECEPTACLE
	DEMO PARTITION	EP	ELECTRICAL PANEL
	EXIST. PARTITION		
	EXIST. DEMISING PARTITION		
	NEW PARTITION		SINGLE GANG PHONE/ DATA BOX
	NEW PARTITION/ INSUL.		DOUBLE GANG PHONE/ DATA BOX
	NEW DEMISING PARTITION	J	J-BOX (WALL OR FLOOR)
	HEADER		SINGLE GANG BOX FOR AV CABLE PASS-THRUS (AV CABLING TO BE PROVIDED BY FINANCIAL ADVISOR)
	EXISTING DOOR	AV	
	NEW DOOR	\$	SWITCH
	WATER HEATER	\$ ³	3-WAY SWITCH
	WATER COOLER (TO BE PROVIDED BY FINANCIAL ADVISOR)	T	THERMOSTAT LOCATION
	FURNACE	F	FIRE EXTINGUISHER
			EXIT/EMERGENCY COMBO
			EXIT/EMERGENCY LIGHT
		S	SMOKE DETECTOR

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7.29.2024	EXISTING BUILT-IN BY STAIRCASE TO REMAIN. BUILT-IN IS ATTACHED TO STAIRCASE AND CANNOT BE REMOVED. GC TO FURR OVER BUILT-IN.
2	8.19.2024	REVISED PROPERTY MANAGER NAME, NUMBER, AND EMAIL.
3	8.20.2024	FA REQUESTED ALTERNATES FOR EXTERIOR ITEMS.
4	8.29.2024	UPDATED LVT TO BE INSTALLED IN 101, 103A, AND 103B.

****DO NOT SCALE DRAWINGS****

**CONTRACTOR MUST HAVE (10) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT CONSTRUCTION MANAGER.

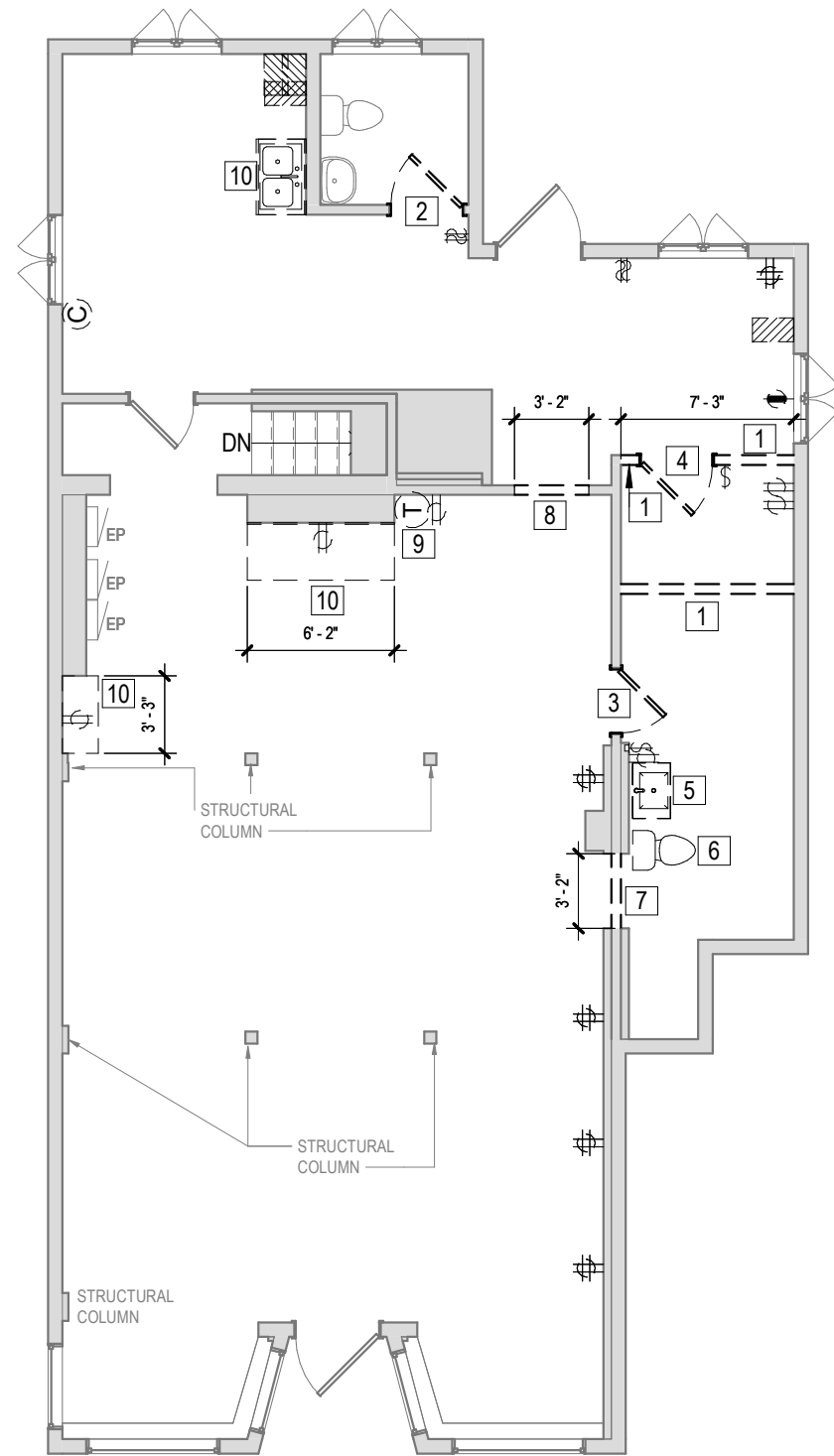
3699 ROUTE 44,
SUITE 1,
MILLBROOK, NY 12545

SQUARE FOOTAGE: 1498 USF | 1300 RSF

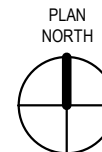
Edward Jones
BRANCH REAL ESTATE
BRANCH OFFICE: 23856
DATE: 7.18.2024

EXHIBIT A
COVER SHEET

SHEET 1 of 10



1 DEMOLITION PLAN
1/8" = 1'-0"



DEMOLITION PLAN NOTES

GENERAL NOTES

1. DEMO ALL ABANDONED PIPING & VOICE/DATA WIRING.
2. DEMO ALL ELECTRICAL / DATA RECEPTACLES SHOWN ON PLAN, AND EXISTING OUTLETS ABOVE 18" AFF. PATCH & REPAIR PARTITIONS / SURFACES TO ACCEPT NEW FINISHES.
3. REMOVE ANY EXISTING NON-WHITE RECEPTACLE; TO BE REPLACED WITH WHITE.
4. DEMO EXISTING FLOORING, FLOORING ADHESIVES, & WALL BASE THROUGHOUT. REPAIR / PREP SUBFLOOR AND WALLS AS NEEDED TO ACCEPT NEW FINISHES. WOOD BASE TO BE SALVAGED FOR REUSE.
5. DEMO ALL EXISTING PENDANT LIGHTING, WALL MOUNTED LIGHTING, SURFACE MOUNTED LIGHTING, SECURITY CAMERAS, MOTION DETECTORS, DOOR BELL CHIMES THROUGHOUT.
6. DEMO EXISTING CERAMIC WALL TILING FROM PREVIOUS TENANT. PATCH / REPAIR ADJACENT SURFACES AS NEEDED.
7. DEMO ALL EXISTING WINDOW BLINDS/TREATMENTS THROUGHOUT. PATCH / REPAIR WALLS AS NEEDED.
8. REMOVE ALL EXISTING KNOB DOOR HARDWARE AND HINGES THROUGHOUT SPACE. TO BE REPLACED WITH NEW HARDWARE AS NOTED ON PARTITION PLAN.

KEYED NOTES X

1. REMOVE EXISTING PARTITIONS AS SHOWN. PATCH AND REPAIR ADJACENT SURFACES AS NEEDED.
2. REMOVE EXISTING DOOR & FRAME. PATCH AND REPAIR ADJACENT SURFACES AS NEEDED.
3. REMOVE EXISTING DOOR INCLUDING FRAMING; INFILL WITH NEW INSULATED PARTITION TO MATCH EXISTING.
4. REMOVE EXISTING DOOR & FRAME; SALVAGE AND RELOCATE AS SHOWN ON PARTITION PLAN ON SHEET 3.
5. REMOVE EXISTING SINK/ACCESSORIES. CAP AND RELOCATE PLUMBING LINES AND PATCH/REPAIR ADJACENT SURFACES AS NEEDED.
6. REMOVE EXISTING TOILET AND SALVAGE FOR RELOCATION AS SHOWN ON PARTITION PLAN ON SHEET 3. MODIFY EXISTING PLUMBING LINES AS NEEDED FOR NEW FIXTURE LOCATIONS.
7. REMOVE PORTION OF EXISTING PARTITION FOR NEW DOOR AS SHOWN ON PARTITION PLAN.
8. REMOVE PORTION OF EXISTING PARTITION FOR NEW CASED OPENING AS SHOWN ON PARTITION PLAN.
9. RELOCATE EXISTING DIGITAL THERMOSTAT TO NEW LOCATION IN PASSAGE 103 AS SHOWN ON PARTITION PLAN.
10. REMOVE EXISTING BUILT-INS; PATCH AND REPAIR TO ACCEPT NEW FINISHES.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7.29.2024	EXISTING BUILT-IN BY STAIRCASE TO REMAIN. BUILT-IN IS ATTACHED TO STAIRCASE AND CANNOT BE REMOVED. GC TO FURR OVER BUILT-IN.

****DO NOT SCALE DRAWINGS****

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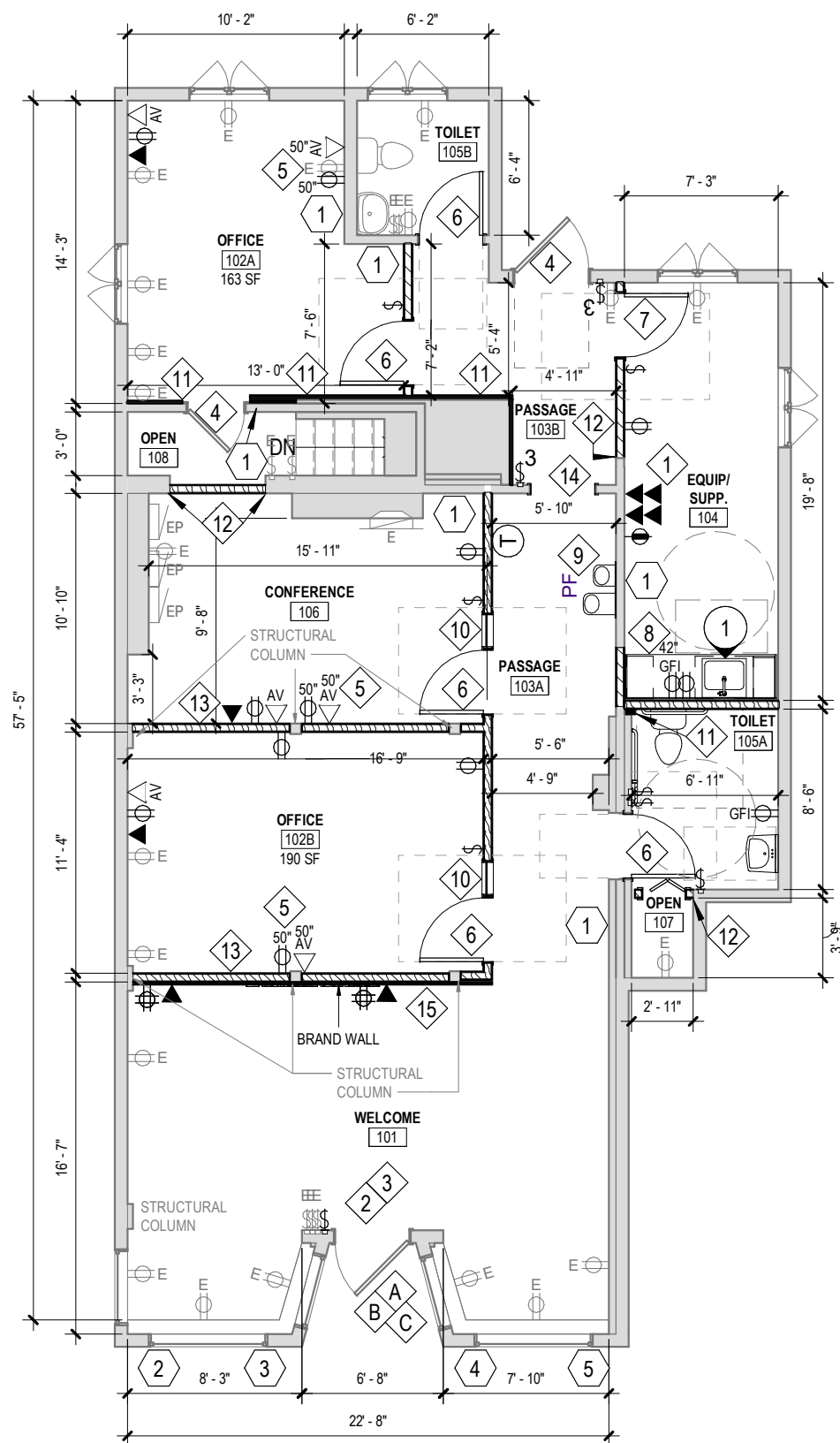
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Edward Jones
BRANCH REAL ESTATE
BRANCH OFFICE: 23856

SQUARE FOOTAGE: 1498 USF | 1300 RSF

DATE: 7.18.2024

EXHIBIT A
DEMO PLAN



1 PARTITION PLAN
1/8" = 1'-0"

****BRANCH TO BE LOW-VOLTAGE PREWIRED**
REFER TO SPEC SHEET 10 FOR MORE DETAIL**



PARTITION PLAN NOTES

LANDLORD SCOPE KEYED NOTES X

FOR REFERENCE IN LEASE AGREEMENT - NOT TO BE INCLUDED IN GC'S SCOPE

LANDLORD TO COMPLETE ALL INDICATED SCOPE OF WORK PRIOR TO DELIVERY OF SPACE OR ACCORDING TO LEASE TERMS. LANDLORD TO ENSURE ALL COMPLETED WORK IS DONE TO MEET ADA AND BUILDING CODE REQUIREMENTS.

- A. PAINT HANDICAP PARKING SPACE AND ACCESS AISLE, AND PROVIDE/INSTALL REQUIRED SIGNAGE; MINIMUM OF ONE VAN ACCESSIBLE SPOT TO BE PROVIDED. TO COMPLY WITH ADA AND BUILDING CODE STANDARDS.
- B. PROVIDE AND INSTALL SIGNAGE AT FRONT OF BUILDING INDICATING HANDICAP PARKING AND ENTRANCE IS AROUND BACK SIDE OF BUILDING.
- C. REMOVE ALL EXTERIOR WINDOW SIGNAGE AND DECALS PRIOR TO DELIVERY OF SPACE.

KEYED NOTES X

- 1. GC TO INSTALL DEDICATED OUTLET, ALL DATA GANG BOXES, AND PHONE BOARD PER DETAIL ON SHEET 10, FOR NEW BOC LOCATION.
- 2. INSTALL DOOR CHIME AT ENTRY DOOR. CHIME TO BE LOCATED IN 103.
- 3. INSTALL THUMBTURN LOCKSET ON ENTRY DOOR. IF LOCAL CODE WILL NOT ALLOW, REFER TO SPECIFICATIONS FOR ALTERNATE.
- 4. INSTALL DEADBOLT ON REAR AND BASEMENT DOOR AS SHOWN.
- 5. INSTALL OUTLETS AND SINGLE GANG BOXES AS SHOWN FOR FUTURE, FA-PROVIDED, WALL-MOUNTED TV. REFER TO PLAN AND TYPICAL DETAIL ON SHEET 6 FOR RECEPTACLE HEIGHTS, LOCATIONS, AND ADDITIONAL INFO FOR PULL-STRINGS AND BLOCKING IN WALL. FA TO SUPPLY AND INSTALL TV, TV WALL MOUNT, AND AV CABLING BETWEEN TV AND CPU.
- 6. INSTALL NEW 3'-0" SOLID CORE WOOD DOORS AS SHOWN TO MATCH EXISTING.
- 7. RELOCATE EXISTING DOOR AND FRAME AS SHOWN. ENSURE DOOR IS IN GOOD CONDITION; CLEAN OR REPAIR TO LIKE-NEW CONDITION AS NEEDED.
- 8. INSTALL KITCHENETTE AS SHOWN. REFER TO SHEET 6 FOR ELEVATION AND MORE DETAILS.
- 9. PROVIDE & INSTALL A HIGH/LOW DRINKING FOUNTAIN AS REQUIRED BY LOCAL CODE.
- 10. DOOR FRAME TO INCLUDE 18" CLEAR GLASS SIDE LIGHT AS SHOWN IN PLAN.
- 11. FURR EXISTING PARTITION AS REQUIRED FOR NEW FINISHES.
- 12. ALIGN NEW PARTITION WITH EXISTING AS SHOWN ON PLAN. PATCH/REPAIR AND PREP FOR NEW FINISHES.
- 13. NEW PARTITION TO ALIGN WITH EXISTING COLUMNS AS SHOWN ON PLAN.
- 14. INSTALL 3'-0" CASSED OPENING IN EXISTING PARTITION AS SHOWN.
- 15. FURR EXISTING / NEW WALL AS SHOWN FOR BRAND WALL. 10' STANDARD WALL REVEAL TO BE INSTALLED PER FINISH PLAN AND SIGNAGE ELEVATION ON SHEET 4.

ALTERNATE KEYED NOTES X

GC TO PROVIDE SEPARATE, BROKEN-OUT COST IN BID FOR ALTERNATES LISTED BELOW.

- 1. INSTALL/BLOW-IN INSULATION IF NOT IN PLACE. PATCH, REPAIR, & PREP PARTITIONS AS NEEDED FOR NEW FINISHES.
- 2. **NON-STANDARD EXTERIOR ALTERNATE (TO BE 100% OUT-OF-POCKET TO THE FA):** CONTRACTOR TO PROVIDE SEPARATE, BROKEN-OUT COST TO PAINT THE EXTERIOR BRICK WHITE OR WHITE WASHED.
- 3. **NON-STANDARD EXTERIOR ALTERNATE (TO BE 100% OUT-OF-POCKET TO THE FA):** CONTRACTOR TO PROVIDE SEPARATE, BROKEN-OUT COST TO PAINT BLACK OR REPLACE OUTDOOR GOOSENECK LIGHTING.
- 4. **NON-STANDARD EXTERIOR ALTERNATE (TO BE 100% OUT-OF-POCKET TO THE FA):** CONTRACTOR TO PROVIDE SEPARATE, BROKEN-OUT COST TO PAINT OR REPLACE THE SHUDDERS IN BLACK OR GREEN.
- 5. **NON-STANDARD EXTERIOR ALTERNATE (TO BE 100% OUT-OF-POCKET TO THE FA):** CONTRACTOR TO PROVIDE SEPARATE, BROKEN-OUT COST TO REPLACE TWO LIGHTS (ONE IN FRONT OF EACH FRONT WINDOW) FOR DECORATIVE LIGHTING.

GENERAL NOTES

GENERAL CONDITIONS

- 1. SPACE TO BE DELIVERED IN AS-IS CONDITION.
- 2. SCOPE OF WORK SPECIFICALLY NOTED ON SHEETS 1-7 TO SUPERCEDE GENERAL SPECIFICATIONS ON SHEETS 8-10. CONTACT CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
- 3. ANY EXISTING, REMAINING ELEMENTS IN TENANT SUITE (DOORS, FIXTURES, ETC.) TO BE PROTECTED DURING CONSTRUCTION AND CLEANED TO LIKE-NEW CONDITION PRIOR TO DELIVERY OF SPACE.

CONCRETE / SUBFLOOR

- 1. ENSURE ALL FLOORING SUBSTRATES ARE CLEAN, DRY, SMOOTH, & LEVEL WITHIN 3/16" PER EVERY 10'-0", READY TO ACCEPT NEW FINISHES PER FINISH SCHEDULE.
- 2. ROUTE NEW PLUMBING AS NEEDED PER PLANS, PREP SUBFLOOR FOR NEW FINISHES.

PARTITIONS

- 1. VERIFY LOCATION OF ALL EXISTING DEMISING PARTITIONS. VERIFY THEY EXTEND TO THE DECK & ARE INSULATED; EXTEND & ADD INSULATION AS REQUIRED.
- 2. PATCH / REPAIR & PREP EXISTING PARTITIONS AS NEEDED FOR NEW FINISHES. ENSURE ALL PARTITIONS MATCH IN TEXTURE. LAMINATE OR SKIMCOAT EXISTING WALLS AS NEEDED FOR A CONSISTENT, SMOOTH FINISH.

DOORS / WINDOWS

- 1. RELOCATE AND INSTALL NEW 3'-0" SOLID CORE DOORS AS SHOWN ON PLAN AND IN KEYED NOTES.
- 2. INSTALL A NEW 2'-0" SOLID CORE BI-FOLD DOOR TO 107. SEE FINISH PLAN FOR SPECS.
- 3. INSTALL NEW ACCESSIBLE, LEVER-STYLE HARDWARE AND HINGES ON ALL INTERIOR DOORS THROUGHOUT. FINISH TO BE BRUSHED NICKEL.
- 4. PROVIDE & INSTALL STOREROOM LOCKSET AT 104 & PRIVACY LOCKSET AT 105A AND 105B.
- 5. PROVIDE & INSTALL DEADBOLT ON EGRESS AND BASEMENT DOOR AS SHOWN ON PLAN.
- 6. ENSURE EXISTING WINDOW FRAMES ARE IN GOOD CONDITION THROUGHOUT, REPAIR / TOUCH UP PAINT AS NEEDED.
- 7. PROVIDE & INSTALL NEW MANUAL ROLLER SHADES, WITH MATCHING FASCIA, ON ALL EXTERIOR WINDOWS. SEE FINISH SCHEDULE ON SHEET 4 FOR SPECS.

CEILING / FINISHES

- 1. REFER TO REFLECTED CEILING PLAN ON SHEET 7 FOR CEILING SCOPE OF WORK.
- 2. REFER TO FINISH PLAN AND SCHEDULE ON SHEET 4 FOR FINISH SCOPE OF WORK.
- 3. REINSTALL EXISTING WOOD BASE AND PROVIDE NEW TO MATCH WHERE NEEDED.

CASEWORK

- 1. INSTALL NEW CASEWORK AS SHOWN ON PLAN AND IN KEYED NOTES.

MECHANICAL

- 1. INSTALL/RELOCATE SUPPLY & RETURN GRILLES, INCLUDING DUCTWORK, AS REQUIRED FOR COMPLETE & BALANCED WORKING SYSTEM AND TO ACHIEVE ONE SUPPLY & ONE RETURN AT MINIMUM IN EACH ROOM.
- 2. CLEAN & CHECK EXISTING HVAC UNIT AND SUPPLY/RETURN GRILLES THROUGHOUT. REPLACE ANY DISCOLORED OR NON-WHITE GRILLES WITH NEW WHITE GRILLES THROUGHOUT.
- 3. EXISTING THERMOSTAT TO BE RELOCATED AS SHOWN.
- 4. PROVIDE & INSTALL NEW EXHAUST FAN VENTED TO EXTERIOR & LIGHT FIXTURE IN TOILET 105B AS REQUIRED BY LOCAL CODE; TO BE SEPARATELY SWITCHED. SEE SHEET 7 FOR RCP. ENSURE EXISTING EXHAUST FAN IN 105A IS VENTED TO EXTERIOR AND LIGHT FIXTURE IS SEPARATELY SWITCHED.

ELECTRICAL

- 1. BRANCH TO BE LOW VOLTAGE PREWIRED PER DRYWALL CEILING.
- 2. EXISTING ELECTRICAL PANELS TO REMAIN. VERIFY PANELS MEETS EDJ SPECS ON SHEET 10; UPGRADE OR ADD SUB-PANEL AS REQUIRED. PAINT PANELS TO MATCH PARTITION.
- 3. INSTALL NEW ELEC RECEPTACLES PER PLAN. ALL RECEPTACLES & FACEPLATES TO BE WHITE.
- 4. REFER TO REFLECTED CEILING PLAN ON SHEET 7 FOR LIGHTING SCOPE OF WORK.

PLUMBING / RESTROOM

- 1. EXISTING PLUMBING FIXTURES / ACCESSORIES IN TOILET 105B TO REMAIN.
- 2. INSTALL NEW ADA SINK, ADA GRAB BARS, AND ADA-COMPLIANT ACCESSORIES (MIRROR, SOAP DISPENSER, PAPER TOWEL DISPENSER, & TOILET PAPER DISPENSER) IN 105A. REFERENCE SCHEDULE & ELEVATIONS ON SHEET 8 FOR DIMENSIONS & SPECIFICATIONS.
- 3. RELOCATE EXISTING TOILET AS SHOWN ON PLAN AND IN KEYED NOTES IN 105A. REFERENCE ELEVATIONS ON SHEET 8 FOR DIMENSIONS.
- 4. GC TO CONFIRM IF FRP PANELING IS REQUIRED. IF REQUIRED, INSTALL FRP PANELING IN RESTROOM TO MEET LOCAL CODES. PANELING TO BE SMOOTH, WHITE.
- 5. INSTALL NEW PLUMBING AT NEW KITCHENETTE AS SHOWN, AND CONNECT TO TENANT HOT WATER SERVICE OR INSTALL DEDICATED INSTA-HOT UNIT AS REQUIRED.

FIRE PROTECTION

- 1. MODIFY EXISTING SMOKE DETECTORS AS REQUIRED BY LOCAL CODES.
- 2. PROVIDE & INSTALL FIRE EXTINGUISHER IN BRANCH AS REQUIRED BY LOCAL CODES.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	7.29.2024	EXISTING BUILT-IN BY STAIRCASE TO REMAIN. BUILT-IN IS ATTACHED TO STAIRCASE AND CANNOT BE REMOVED. GC TO FURR OVER BUILT-IN.
3	8.20.2024	FA REQUESTED ALTERNATES FOR EXTERIOR ITEMS.

****DO NOT SCALE DRAWINGS****

****CONTRACTOR MUST HAVE (10) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT CONSTRUCTION MANAGER.**

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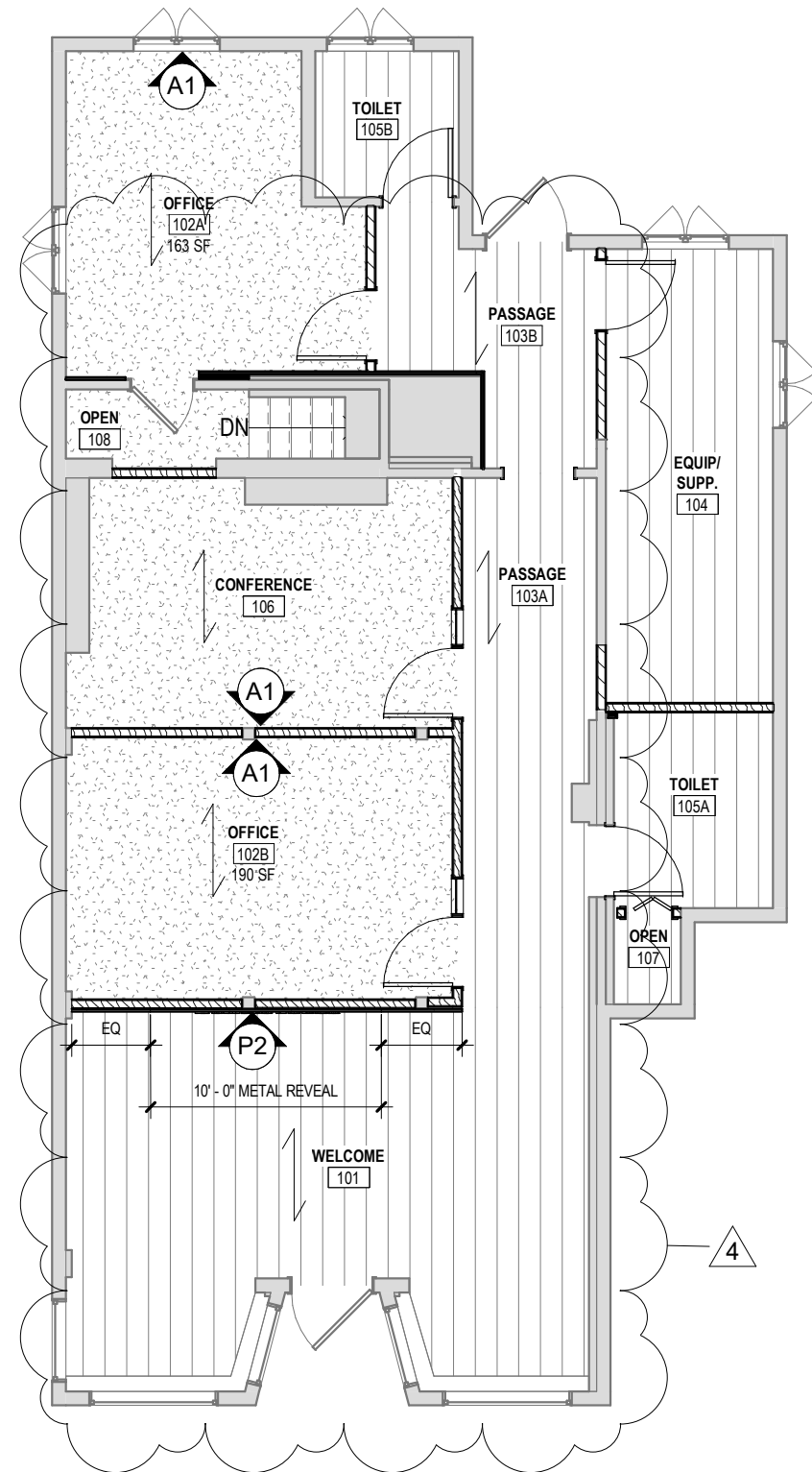
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BRANCH OFFICE: 23856

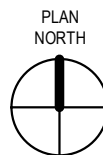
DATE: 7.18.2024

SQUARE FOOTAGE: 1498 USF | 1300 RSF

EXHIBIT A
PARTITION PLAN



1 FINISH PLAN
1/8" = 1'-0"



FINISH PLAN NOTES

KEYED NOTES

- Ax** WALL TO BE PAINTED WITH ACCENT COLOR SHOWN ON PLAN, SEE FINISH SPECIFICATIONS FOR ACCENT WALL COLOR CODE.
- P2** WALL TO BE PAINTED WITH ACCENT COLOR P2, AND EDJ LOGO INSTALLED.
 - ORDER & INSTALL EDJ LOGO (LETTER KIT W/ PUSH PINS ON BACK) AND METAL WALL REVEAL (IF APPLICABLE, SEE ELEVATION). SEE SPECIFICATIONS SHEET 10 FOR INSTALLATION AND ORDERING INSTRUCTIONS.

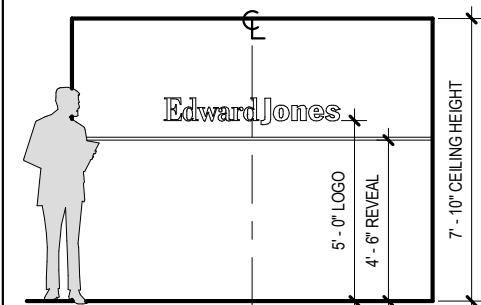
ROOM FINISH SCHEDULE

RM. NO.	PAINT	ACCENT	FLOORING	BASE	DOOR PANEL	DOOR FRAME	CEILING	NOTES
101	P1	P2	LVT3	EX-WD/MATCH	BLDG STND	BLDG STND	EXIST	SEE NOTE "P2"
102A	P1	A1	CPT1	EX-WD/MATCH	MATCH	MATCH	EXIST	SEE NOTE "A1"
102B	P1	A1	CPT1	EX-WD/MATCH	MATCH	MATCH	EXIST	SEE NOTE "A1"
103A	P1		LVT3	EX-WD/MATCH		MATCH	EXIST	
103B	P1		LVT3	EX-WD/MATCH	BLDG STND	BLDG STND	EXIST	
104	P1		LVT3	EX-WD/MATCH	RELO	RELO	EXIST	
105A	P1		LVT3	EX-WD/MATCH	MATCH	MATCH	EXIST	
105B	P1		LVT3	EX-WD/MATCH	MATCH	MATCH	EXIST	
106	P1		CPT1	EX-WD/MATCH	MATCH	MATCH	EXIST	SEE NOTE "A1"
107	P1		LVT3	EX-WD/MATCH	MATCH	MATCH	EXIST	
108	P1		CPT1	EX-WD/MATCH	EX-D1	EX-F1	EXIST	

FLOOR PATTERN LEGEND / KEY

- EXIST = EXISTING TO REMAIN
 - MATCH = NEW TO MATCH EXISTING
 - BLDG STND = BUILDING STANDARD APPLIES
 - RELO = RELOCATED
- CARPET TILE
 - LUXURY VINYL TILE
 - EXISTING TO REMAIN
 - MATCH EXISTING
 - BUILDING STANDARD
 - NOT IN CONTRACT
- FLOOR PATTERN DIRECTION SYMBOL *SEE PLAN

SIGNAGE ELEVATION



P2 REFER TO KEYED NOTE ABOVE

**LOGO AND REVEAL TO BE CENTERED ON WALL, U.N.O. ON PLAN. REVEAL IS ONLY 10' IN LENGTH. GC TO ENSURE NO OBSTRUCTIONS ON LOGO WALL (FIRE STROBES, OUTLETS, FIRE EXTINGUISHERS, ETC).

FINISH SPECIFICATIONS | TRUSTED PALETTE

- WALLS**
 - P1** GENERAL WALL PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW 7005 PURE WHITE
 - P2** BRAND WALL PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW 7075 WEB GRAY
 - A1** ACCENT WALL PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW 9061 REST ASSURED
- WALL BASE**
 - EX-WD** EXISTING WOOD BASE TO REMAIN, TO BE RE-PAINTED
COLOR: SW 7006 EXTRA WHITE
 - MATCH** MATCH WOOD BASE
STYLE: TO MATCH EXISTING, TO BE PAINTED
COLOR: SW 7006 EXTRA WHITE
- DOOR FRAMES**
 - MATCH** MATCH EXISTING DOOR FRAMES TO BE PAINTED
COLOR: SW 7006 EXTRA WHITE
 - RELO** EXISTING TO BE RELOCATED, TO BE RE-PAINTED
COLOR: SW 7006 EXTRA WHITE
 - BLDG STND** BUILDING STANDARD
VERIFY SPEC WITH FA/LANDLORD
 - EX-F1** EXISTING TO REMAIN TO BE PAINTED/STAINED
COLOR: SW 7006 EXTRA WHITE
- FLOORING**
 - CPT1** GENERAL CARPET TILE
MFR: INTERFACE
STYLE: EJ BOUCLÉ
COLOR: 189214
SIZE: 25CM X 1M
INSTALL: ASHLAR
 - LVT3** LUXURY VINYL TILE
MFR: INTERFACE
STYLE: NATURAL WOODGRAINS
COLOR: A00204 BEECH
SIZE: 25CM X 1M
INSTALL: RANDOM STAGGERED
- DOOR PANELS**
 - MATCH** MATCH EXISTING DOOR TYPE: TO MATCH EXISTING STYLE, TO BE PAINTED
COLOR: SW 7006 EXTRA WHITE
 - RELO** EXISTING TO BE RELOCATED, TO BE RE-PAINTED
COLOR: SW 7006 EXTRA WHITE
 - EX-D1** EXISTING TO REMAIN, TO BE RE-PAINTED
COLOR: SW 7006 EXTRA WHITE
 - BLDG STND** BUILDING STANDARD
VERIFY SPEC WITH FA/LANDLORD
- WINDOW TREATMENT**
 - WT-2** WINDOW TREATMENT
STYLE: MANUAL ROLLER SHADE
COLOR: RESOLUTE
OPENNESS: 3%

GENERAL NOTES:

- INSTALL SCHLUTER TRANSITION STRIPS BETWEEN DISSIMILAR FLOORS
- REFER TO SPEC SHEETS FOR MORE INFO ON FINISH AND DOOR SPECS.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
4	8.29.2024	UPDATED LVT TO BE INSTALLED IN 101, 103A, AND 103B.

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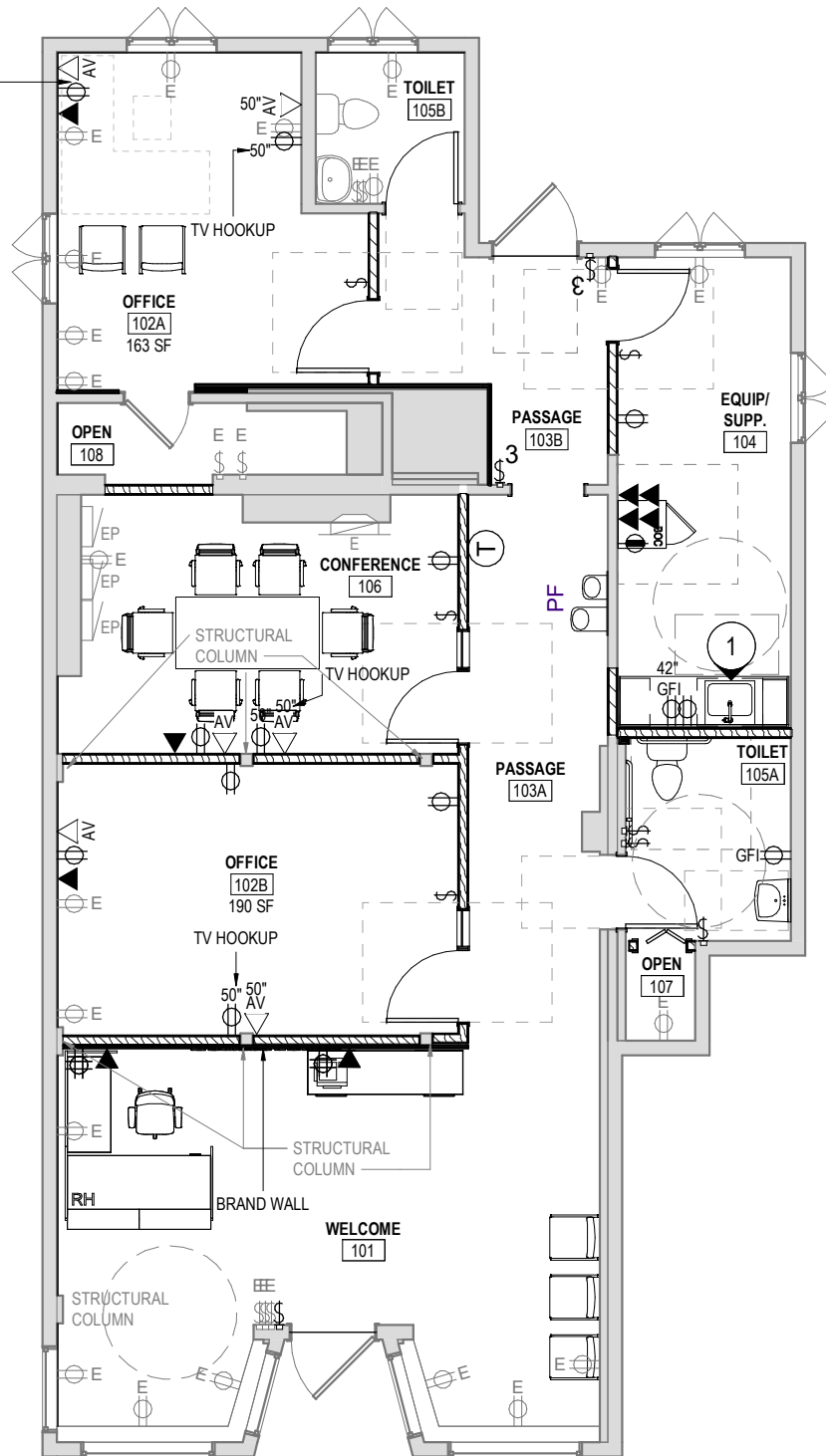
SQUARE FOOTAGE: 1498 USF | 1300 RSF

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BRANCH OFFICE: 23856

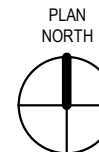
DATE: 7.18.2024

EXHIBIT A
FINISH PLAN

FUTURE FA DESK SHOWN FOR REFERENCE ONLY,
NOT ORDERED AT THIS TIME






1 FURNITURE / EDJ EQUIP. PLAN
1/8" = 1'-0"



FURNITURE PLAN NOTES

EQUIPMENT LEGEND

**EQUIPMENT SUPPLIED & INSTALLED BY EDWARD JONES

-  LASER PRINTER
-  COPIER/FAX/SCANNER
-  BOC (BRANCH OFFICE CONTROLLER)
PHONE SYSTEM

GENERAL NOTES

- REFER TO PLAN FOR EXACT CONFIGURATION AND HANDEDNESS OF FURNITURE TO BE PROVIDED. **HANDEDNESS CANNOT BE INTERCHANGED ONCE ORDER IS PLACED.** CONFIRM HANDEDNESS WITH DESIGNER PRIOR TO ORDER.
- ORDER TO BE VERIFIED WITH DESIGNER PRIOR TO PURCHASE, **ONCE ORDER IS PLACED, ANY CHANGES WILL RESULT IN ADDITIONAL CHARGES.**
- REFER TO PLAN FOR LOCATION OF WALL-MOUNTED FURNITURE ACCESSORIES, REFER TO ACCESSORY TAGS (X)
- REFER TO MANUFACTURER SPECS FOR WALL-MOUNTED ACCESSORY HEIGHTS

FURNITURE SCHEDULE

DESCRIPTION	QUANTITY	ORDER?	MOVE?
BOA			
29"H Credenza w/ Center Opening	1	X	
Desk Frame L-Shape_RH	1	X	
Height-Adjustable Bridge	1	X	
CHAIRS			
Rein Guest Chair - Hashtag	5	X	
Sleek Conference Chair	6	X	
Zonal Task Chair	1	X	
MEETING TABLES			
Intermix Table - 72" x 36" Rectangle, Wood Top	1	X	

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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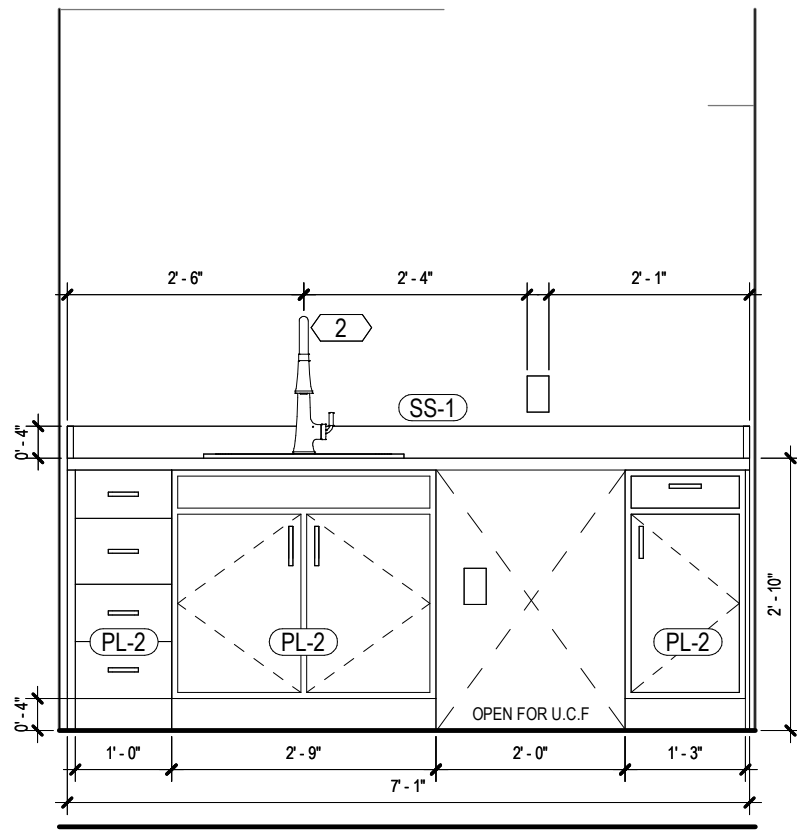
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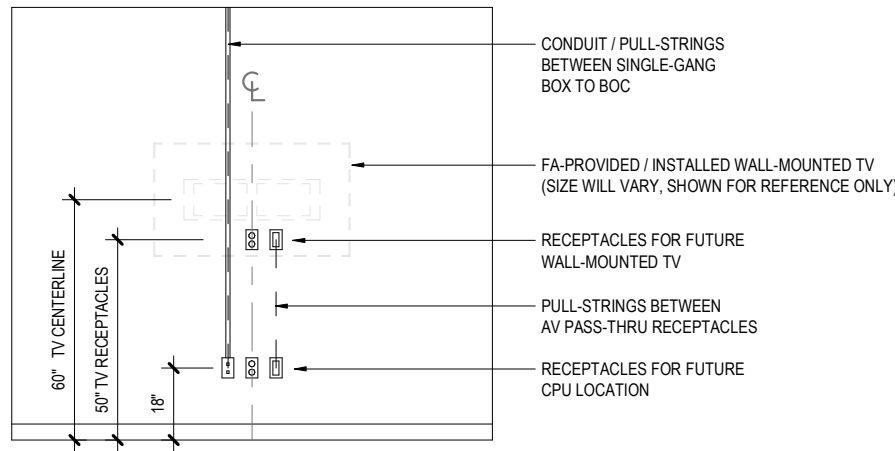
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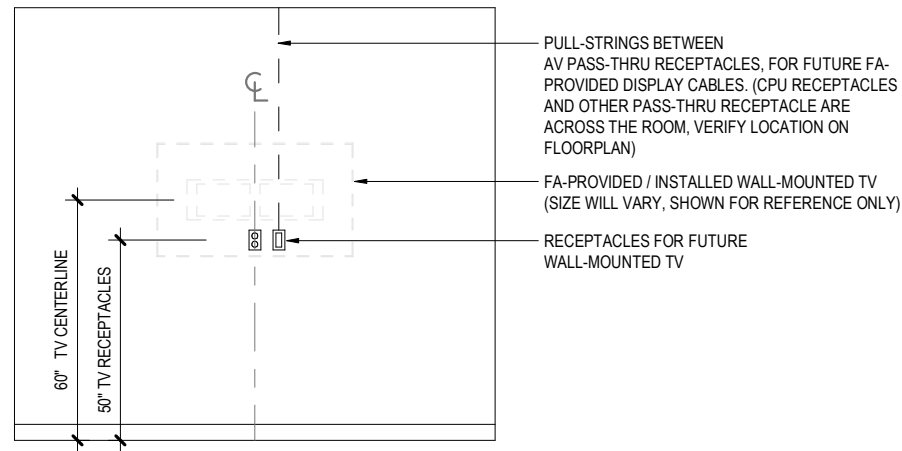
EXHIBIT A
FURNITURE / EDJ
EQUIPMENT PLAN



1 KITCHENETTE ELEVATION
1/2" = 1'-0"



TYPICAL TV ELEVATION - CPU BELOW
1/4" = 1'-0"



TYPICAL TV ELEVATION - CPU ACROSS ROOM
1/4" = 1'-0"

ELEVATION NOTES

CASEWORK GENERAL NOTES

1. ALL CASEWORK TO BE BUILT TO EDJ SPECIFICATIONS AS LISTED ON SHEET 10, INCLUDING ALL ADA AND BUILDING ACCESSIBILITY CODES.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF ALL CASEWORK SCOPE SHOWN. SEND TO CONSTRUCTION MANAGER FOR REVIEW / APPROVAL.
3. CONTRACTOR TO SUPPLY AND INSTALL ALL PLUMBING FIXTURES SHOWN. FINANCIAL ADVISOR TO SUPPLY AND INSTALL ANY AND ALL APPLIANCES.

CASEWORK FINISH SCHEDULE (XX-X)

TAG	MFR	COLOR/STYLE	COMMENTS
PL-1	WILSONART	PHANTOM COCOA 8213	38 FINE VELVET FINISH
PL-2	WILSONART	FLORENCE WALNUT 7993	38 FINE VELVET FINISH
PL-3	WILSONART	WALNUT HEIGHTS 7965	38 FINE VELVET FINISH
PL-4	LAMINART	VAPOR 2429	TEXTURED
PL-5	LAMINART	PLATINUM 2300	TEXTURED
PL-6	PANOLAM	CHALK WHITE S-7024	THRUCOLOR LAMINATE
SS-1	WILSONART	HAIDA Q4008	EASED EDGE

*SPECIFICATIONS SHOULD BE USED AS LISTED AND PER ELEVATIONS. CONTACT CONSTRUCTION MANAGER TO REVIEW / APPROVE ANY AND ALL ALTERNATES IF REQUIRED.

APPLIANCE / FIXTURE SCHEDULE (X)

TAG	ITEM	MODEL #	COMMENTS
1	33" KITCHEN SINK	GLACIER BAY, VT3322TA2PA1	33" WIDE, STAINLESS STEEL, DOUBLE-BOWL, FAUCET + ACCESSORIES INCLUDED
2	25" KITCHEN SINK	GLACIER BAY, VT2522TA1PA1-2A	25" WIDE, STAINLESS STEEL, FAUCET + ACCESSORIES INCLUDED
3	15" BAR SINK	ELKAY, HDDSB1515TR1K	15" WIDE, STAINLESS STEEL, FAUCET + ACCESSORIES INCLUDED
-	GARBAGE DISPOSAL	N/A, SOURCED LOCALLY	*ALL SINK LOCATIONS
-	WATER FILTER FOR FAUCET	BRONDELL, RC100	*ALL SINK LOCATIONS, UNDERCOUNTER

*SPECIFICATIONS SHOULD BE USED AS LISTED AND PER ELEVATIONS. CONTACT CONSTRUCTION MANAGER TO REVIEW / APPROVE ANY AND ALL ALTERNATES IF REQUIRED.

TV / AV GENERAL NOTES

1. REFER TO SHEET 10 FOR SPECIFICATIONS REGARDING ELECTRICAL AND DATA.
2. REFER TO PARTITION PLAN ON SHEET 3 FOR EXACT TYPE, LOCATIONS, AND HEIGHTS OF RECEPTACLES NEEDED FOR FUTURE WALL-MOUNTED TV AND CPU. RECEPTACLES FOR CPU MAY BE BELOW TV OR ELSEWHERE IN ROOM.
3. CONTRACTOR TO INSTALL CONDUIT WITH PULL-STRINGS BETWEEN BOC LOCATION AND GANG BOXES FOR DATA, AND PULL-STRINGS BETWEEN AV PASS-THRU RECEPTACLES FOR FUTURE FA-PROVIDED AV DISPLAY CABLES.
4. RECEPTACLES TO BE CENTERED ON WALL AS SHOWN, U.N.O. ON SHEET 3.
5. CONTRACTOR TO INSTALL BLOCKING IN WALL FOR FUTURE WALL-MOUNT.
6. FA TO SUPPLY AND INSTALL TV, MOUNT, AND AV DISPLAY CABLES REQ'D.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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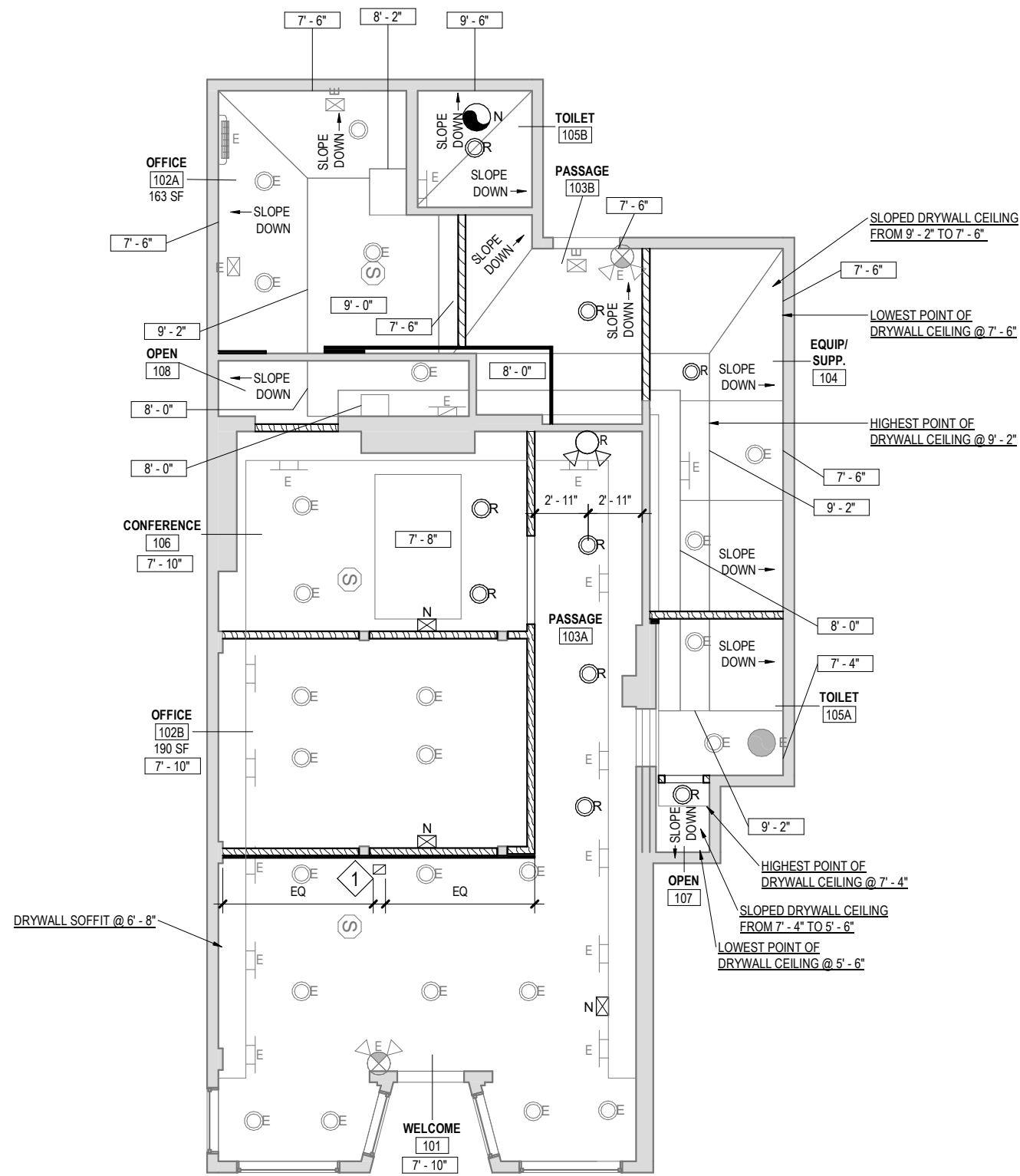
SQUARE FOOTAGE: 1498 USF | 1300 RSF

Edward Jones
BRANCH REAL ESTATE

BRANCH OFFICE: 23856

DATE: 7.18.2024

EXHIBIT A
ELEVATIONS +
DETAILS



1 REFLECTED CEILING PLAN
1/8" = 1'-0"



REFLECTED CEILING PLAN NOTES

GENERAL NOTES

1. CONTRACTOR TO CONFIRM HVAC, LIGHTING, AND FIRE PROTECTION MEETS ALL APPLICABLE CODES AND EDWARD JONES STANDARDS ON SHEET 9. NOTIFY CONSTRUCTION MANAGER IF THERE ARE DISCREPANCIES OR REVISIONS NEEDED.
2. EXISTING DRYWALL CEILING AND SOFFITS TO REMAIN THROUGHOUT. PAINT DRYWALL CEILING AND SOFFITS WHITE.
3. RELOCATE EXISTING / INSTALL NEW LIGHTING TO MATCH AS SHOWN ON PLAN
4. (2) NIGHT LIGHTS TO BE HARDWIRED AT 101 & 103.
5. EXISTING EMERGENCY LIGHTS AT EGRESS DOORS TO REMAIN AS SHOWN ON PLAN AND AS REQUIRED BY LOCAL CODES.

KEYED NOTES X

1. INSTALL COMMERCIAL WALL WASH LIGHT FIXTURE TO ILLUMINATE INTERIOR LOGO; TO BE SEPARATELY SWITCHED. SEE SHEET 9 FOR SPECIFICATIONS.

RCP LEGEND

	2' X 2' LAY-IN LIGHT FIXTURE		EXHAUST FAN
	2' X 4' LAY-IN LIGHT FIXTURE		EXIT / EMERGENCY COMBO
	6" RECESSED DOWNLIGHT		EXIT / EMERGENCY LIGHT
	EDJ STANDARD WALL WASH		ATTIC ACCESS PANEL
	WALL-MOUNTED FIXTURE		6 GALLON WATER HEATER
	LINEAR DIFFUSER		X'-X" CEILING HEIGHT TAG
	PENDANT FIXTURE		EXISTING FIXTURE
	AIR SUPPLY GRILLE		NEW FIXTURE
	AIR RETURN GRILLE		RELOCATED FIXTURE

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

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EXHIBIT A
REFLECTED
CEILING PLAN

EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS

GENERAL NOTES

- THE FOLLOWING INFORMATION IS PROVIDED AS A GENERAL GUIDE. IN ALL CASES, IT IS PREFERRED THAT THE BUILDING STANDARD BE USED; OTHERWISE, USE THE INFORMATION PROVIDED BELOW AND ON THE DESIGN INTENT DRAWINGS, OFTEN REFERRED TO AS EXHIBIT A. IT IS THE INTENT THAT THESE MODIFICATIONS/ADDITIONS/IMPROVEMENTS WILL BE PERFORMED ON AN "AS NEEDED" BASIS, AT THE REASONABLE DISCRETION OF EDWARD D. JONES & CO., L.P. D/B/A EDWARD JONES, HEREIN AFTER REFERRED TO AS EDWARD JONES OR TENANT.
- ANY DISCREPANCIES ON SHEETS 1-7 TO BE BROUGHT TO DESIGNERS ATTENTION IMMEDIATELY.
- ALL WORK SHOULD BE PERFORMED BY G.C. (GENERAL CONTRACTOR) PER CITY, STATE, PROVINCIAL, AND NATIONAL CODES (ALL REFERENCES TO "CODE" IN THIS DOCUMENT TO APPLY TO CITY, STATE, PROVINCIAL, AND/OR NATIONAL CODES AS APPLICABLE). ALL CONSTRUCTION WILL BE COMPLETED SO THAT AN OCCUPANCY PERMIT (OBTAINED BY THE G.C.) WILL BE GRANTED PRIOR TO LEASE COMMENCEMENT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST ISSUED EDITION OF THE EDWARD JONES APPROVED EXHIBIT A INCLUDED WITH THE CONTRACT FOR SERVICES AT TIME OF BID AWARD.
- EXHIBIT A IS INTENDED FOR DESIGN INTENT ONLY AND IS NOT AN OFFICIAL CONSTRUCTION DOCUMENT. GENERAL CONTRACTOR (GC) TO OBTAIN ANY NECESSARY PERMITS/DRAWINGS IF REQUIRED PER CODE; COST TO BE INCLUDED IN BID IF REQUIRED TO OBTAIN PERMITS.
- GENERAL CONTRACTOR MUST PROVIDE ALL SUBCONTRACTORS ALL 10 SHEETS AT TIME OF BID AND/OR PRIOR TO ANY CONSTRUCTION.
- ALL EXISTING ITEMS TO REMAIN IN BRANCH (AS SHOWN ON PLANS) MUST BE IN GOOD WORKING ORDER AND CONDITION, AND FREE OF MAJOR DEFECTS.
- EDWARD JONES' INSTALLERS MUST BE NOTIFIED OF ANY CHANGES IN PLACEMENT OF EQUIPMENT, PHONES, OUTLETS, OR FURNITURE. EDWARD JONES HAS AN ESTABLISHED RELATIONSHIP WITH NATIONAL VENDORS FOR FLOORING, PAINT, SIGNAGE, AND LOW VOLTAGE WIRING.
- FURNITURE, EQUIPMENT, BOTTLED WATER COOLER (IF REQUIRED BY CODE), PHONE AND DATA WIRING & ALL TERMINATIONS TO BE PROVIDED BY THE TENANT.
- THE SPACE SHOULD BE CLEANED AFTER CONSTRUCTION.
- WARRANTY DOCUMENTS SHALL BE PROVIDED TO THE BRANCH REAL ESTATE ONCE CONSTRUCTION IS COMPLETE.
- UPON PROJECT COMPLETION, CLOSE OUT DOCUMENTS TO BE SUBMITTED WITH FINAL INVOICE INCLUDE: CONSTRUCTION DOCUMENTS, APPROVED CHANGE ORDERS, CERTIFICATE OF OCCUPANCY, LIEN WAIVER, FINAL PHOTOS OF SPACE, COMPLETED PUNCH LIST WITH ALL OUTSTANDING ITEMS COMPLETED, AND AN AIR BALANCE REPORT.

INTERIOR CONSTRUCTION SPECIFICATIONS

- DEMOLITION**
 - DEMOLISH AND REMOVE FROM THE SITE ALL DEBRIS FROM THE AREAS AS SHOWN ON EXHIBIT A. LEAVE SPACE FREE OF ALL CONSTRUCTION DEBRIS.
 - REMOVE EXISTING FINISHES ONLY IN AREAS THAT ARE TO RECEIVE NEW FINISHES PER THE FINISH SCHEDULE SHOWN ON SHEET 4. ROOMS LISTED "NIC" OR "EXIST" SHALL REMAIN AS-IS UNLESS OTHERWISE NOTED ON FLOOR PLAN.
 - LEAVE AND/OR PREPARE FLOOR TO ACCEPT NEW GLUE DOWN FLOORING PER FINISH SCHEDULE. SURFACES THAT ARE TO ACCEPT NEW FLOORING ARE TO BE FREE OF ALL DEBRIS AND/OR RESINOUS DEPOSITS. FOR BRANCHES ON A SLAB FILL ALL FLOOR CUTS REMAINING FROM ANY PLUMBING OR OTHER TERMINATION WITH CONCRETE. DEMO ALL FLOOR OUTLETS AND PATCH AS REQUIRED. IF FLOOR HVAC VENTS ARE PRESENT IN A WALKWAY, PLEASE CONTACT DESIGNER FOR RELOCATION INSTRUCTIONS.
- PARTITIONS**
 - ALL NEW WALLS WILL BE CONSTRUCTED OF 3 5/8" METAL STUDS AT 16" O.C. (WOOD STUDS ACCEPTABLE IF APPROVED BY CODE) AND 5/8" DRYWALL MINIMUM, OR MATCH EXISTING TO REMAIN.
 - ALL NEW AND EXISTING WALLS SHALL BE TAPED AND SMOOTH, READY FOR PAINT, LEVEL 4 FINISH.
 - ALL PARTITIONS SURROUNDING OFFICES (102-), RESTROOMS (105-), AND CONFERENCE ROOMS (106-) TO BE BUILT TO EXTEND 6" ABOVE CEILING GRID.
 - ALL DEMISING WALLS TO BE BUILT TO DECK STRUCTURE ABOVE, FIRE SEALING ALL PENETRATIONS AS REQUIRED. IF PROPERTY UTILIZES A PLENUM RETURN FOR ENTIRE BUILDING, IT IS REQUIRED TO TAKE DEMISING WALLS TO HEIGHT OF ADJACENT TENANT'S WALLS TO PROVIDE A SECURE DEMISING WALL.
 - VERIFY DEMISING WALLS ARE INSULATED AND EXTEND TO DECK; EXTEND AND PROVIDE INSULATION AS REQUIRED
 - PROVIDE AND INSTALL SOUND BATT INSULATION ABOVE CEILING ALONG NEW DEMISING PARTITION. IF ADJACENT TENANT IS A RESTAURANT OR NAIL SALON, CAULK ALL OUTLETS AND PENETRATIONS AS WELL AS FLOOR LINE AND CONNECTION AT DECK TO AVOID SMELL TRANSFERENCE.
 - FINISH DEMISING WALL ON BOTH SIDES ONLY IF REQUIRED BY CODE, OR IF NOTED OTHERWISE ON PLANS. IT IS CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF THIS IS REQUIRED DURING THE BIDDING PROCESS.
 - A MINIMUM OF 3" SOUND BATT INSULATION SHALL BE INSTALLED IN PARTITIONS AS INDICATED ON EXHIBIT A, BETWEEN STUDS AND ABOVE CEILING WHERE THE WALL AND CEILING MEET. IF WALLS ARE EXISTING, USE BLOW-IN INSULATION.
 - PROVIDE RUBBER MOLD/BREAK METAL AT WINDOW MULLION, CAULK ALL SEAMS. ALL WALLS THAT END AT EXTERIOR WALLS OR MULLIONS TO INCLUDE SOUND CAULK AND RUBBER GASKET AT POINT OF CONNECTION.

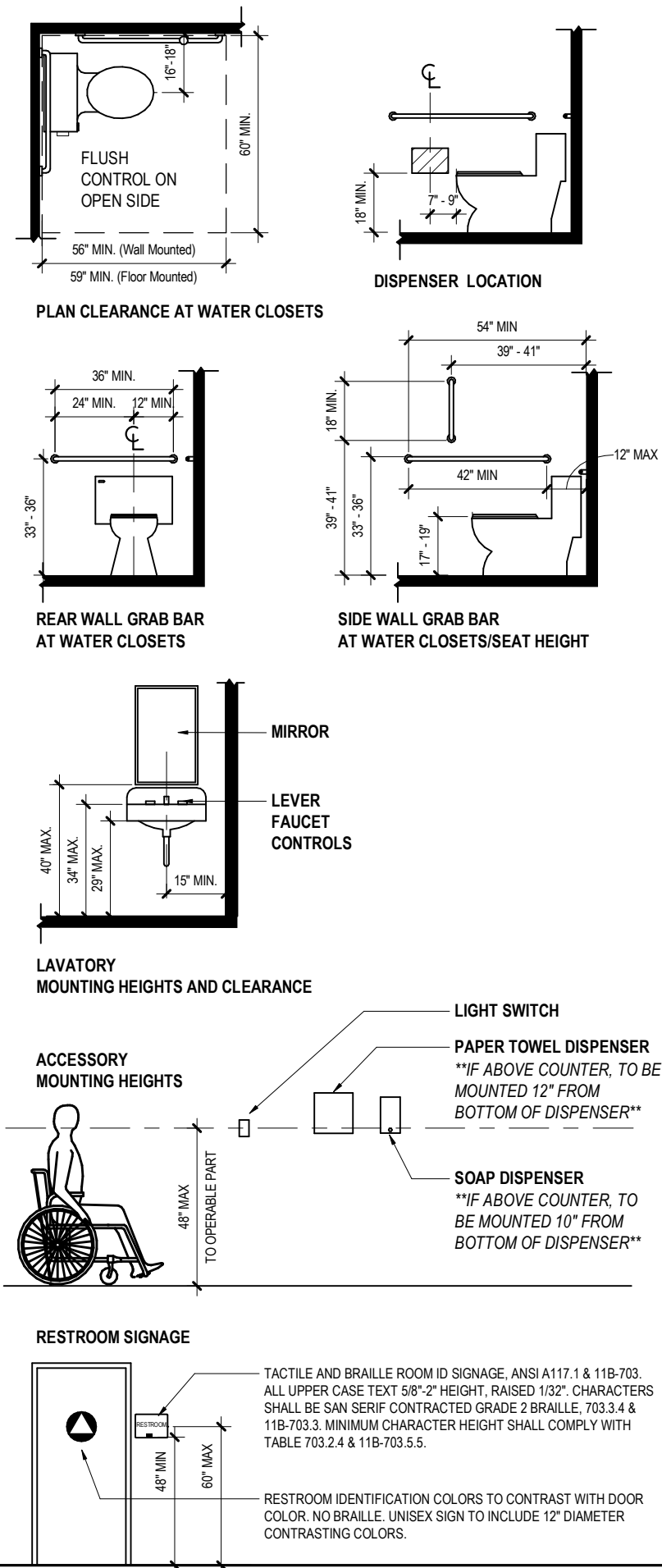
- CEILING**
 - ACOUSTICAL CEILINGS: TILES TO BE FREE FROM STAINS, DIRT, CHIPS, AND BREAKS; ALL TILES TO BE SAME COLOR AND STYLE; GRID TO BE WHITE AND EVEN, FREE FROM HOLES (OR FILLED), AND SHOULD BE CLEAN. CONTIGUOUS AREAS MUST HAVE MATCHING TILE.
 - MATCH EXISTING CEILING TILES AND GRID, OR BUILDING STANDARD, WHERE APPLICABLE.
 - IF EXISTING GRID IS IN POOR CONDITION, OR COLOR OTHER THAN WHITE (AND NOT A BUILDING STANDARD), PAINT GRID WHITE, OR REPLACE AS REQUIRED.
 - IF INSTALLING NEW, PROVIDE AND INSTALL 2 X 4' COMMERCIAL GRADE ACOUSTICAL CEILING TILE AND GRID. STANDARD HEIGHT FOR NEW CEILING TO BE 9'-0", UNLESS NOTED ON PLANS.
 - BASIS OF DESIGN:**
 - MFR: USG
 - PRODUCT: OLYMPIA MICRO 4753, NRC .60, SIZE: 2' X 4'
 - PROFILE: SHADOWLINE TAPERED
 - GRID: D, USG DX FLAT GRID
 - COLOR: WHITE
 - OR COMPARABLE ALTERNATE (CONTACT CONSTRUCTION MANAGER FOR APPROVAL)
- DRYWALL CEILINGS: TO BE LEVEL, HAVE AN EVEN TEXTURE (MATCH EXISTING WHERE APPLICABLE), AND BE PAINTED WHITE (SEE PAINT SPEC).
- FIRE PROTECTION**
 - PROVIDE AND INSTALL NEW SPRINKLER SYSTEM ONLY AS REQUIRED BY CODE. IF EXISTING, MODIFY SPRINKLER LAYOUT AS REQUIRED PER CODE. INCLUDE NECESSARY PERMITS AND INSPECTIONS IF REQUIRED BY CODE AND/OR JURISDICTION. HEADS MUST BE CENTERED IN TILE.
 - PROVIDE APPROPRIATE COVERAGE OF HEADS FOR PARTITION LAYOUT AS REQUIRED BY CODE PER PARTITION LAYOUT AS SHOWN ON EXHIBIT A. QUANTITY AND LOCATION OF HEAD TO COMPLY WITH APPLICABLE CODES.
 - PROVIDE/MODIFY FIRE ALARM SYSTEM IF REQUIRED BY LOCAL CODE.
 - PROVIDE DESCRIPTION OF ANY LIFE SAFETY SYSTEM PROVIDED IN BUILDING AND ITS OPERATION.
 - PROVIDE AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE.
 - PROVIDE AND INSTALL FIRE EXTINGUISHER; TO MEET ALL LOCAL CODES.
- TOILET/WASHROOM & PLUMBING (UNLESS COMMON FACILITIES PRESENT)**
 - PROVIDE AND INSTALL RESTROOM LAYOUT AND FIXTURES AS SHOWN ON EXHIBIT A. WASHROOM TO BE BARRIER FREE / HANDICAP ACCESSIBLE AS REQUIRED BY ADA STANDARDS, BUILDING CODES, AND AS SHOWN ON PLANS. GC TO ADHERE TO ANY CODES WHICH MIGHT REQUIRE MODIFICATION OF EXISTING RESTROOM NOT SHOWN ON PLANS; CONTACT DESIGNER IF CODE REQUIREMENTS DIFFER FROM PLANS.
 - RESTROOM TO HAVE (1) OF EACH OF THE FOLLOWING: TOILET, SINK, WATER HEATER (DEDICATED TO EDJ SPACE), GRAB BARS, TOILET PAPER HOLDER, PAPER TOWEL DISPENSER, SOAP DISPENSER, & MIRROR. PROVIDE & INSTALL ANY OTHER ACCESSORY AS NOTED ON PLANS OR REQ'D BY CODE.
 - EXISTING RESTROOM FIXTURES TO REMAIN IF DETERMINED TO BE IN GOOD CONDITION (I.E. IN GOOD OPERATION AND FREE OF STAINS OR CRACKS). CLEAN AND RESET FIXTURES AS REQUIRED.
 - SINK(S) (ONLY IF SHOWN ON EXHIBIT A) TO HAVE HOT AND COLD-WATER SERVICE. IF UNABLE TO INSTALL WATER HEATER ABOVE CEILING, INSTALL INSTA-HOT UNDER SINK.
 - PROVIDE AND INSTALL EXHAUST FAN WITH ADEQUATE DUCTING & SEPARATELY SWITCHED AS REQUIRED.
 - PROVIDE AND INSTALL BARRIER-FREE UNDER-SINK PIPE PROTECTIVE COVER UNDER SINK IN 105.

PLUMBING FIXTURE SCHEDULE

ITEM	MODEL #	COMMENTS
18" GRAB BAR	BOBRICK #B-5806X18	
36" GRAB BAR	BOBRICK #B-5806X36	
42" GRAB BAR	BOBRICK #B-5806X42	
MIRROR**	24"WX36"H W/J-MOLD	
PAPER TOWEL DISPENSER	47260 - SCOTT MOD™	ELECTRONIC SLIMROLL, BLACK, PINK CODE
SINK FAUCET**	MOEN M-BITION 9482	ADA-COMPLIANT SINGLE-LEVER
SINK**	ZURN Z5340, WHITE	ADA-COMPLIANT, WALL-MOUNTED, SINGLE-HOLE, CAULK AS REQ.
SOAP DISPENSER	32504 SCOTT MOD SKINCARE DISPENSER	WALL MOUNTED, TOUCHLESS BATTERY OPERATED
TOILET PAPER DISPENSER	09604 SCOTT SERIES INSIGHT	SURFACE MOUNTED DOUBLE ROLL TOILET TISSUE DISPENSER
TOILET SIGNAGE	PLASTIC ACCESSIBLE RESTROOM SIGN-UNISEX	
TOILET**	PF5112HEWH/PF1403TWH (LEFT FLUSH) PF5112RHEWH/PF1403TWH (RIGHT FLUSH)	ADA COMPLIANT, FLOOR MOUNTED CAULK AS REQ.

ITEMS SHOWN WITH ** MAY USE SIMILAR ALTERNATE MODEL, OTHERWISE CONTRACTOR TO USE SPECIFIED ITEM. IF CONTRACTOR FINDS DISCREPANCIES OR ISSUES USING SPECS LISTED, CONTACT CONSTRUCTION MANAGER FOR REVIEW/APPROVAL OF ALTERNATES.

TYPICAL RESTROOM DETAILS



****DO NOT SCALE DRAWINGS****

****CONTRACTOR MUST HAVE (10) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT CONSTRUCTION MANAGER.**

3699 ROUTE 44,
SUITE 1,
MILLBROOK, NY 12545

Edward Jones
BRANCH REAL ESTATE
BRANCH OFFICE: 23856

SQUARE FOOTAGE: 1498 USF | 1300 RSF

DATE: 7.18.2024

EXHIBIT A
FINISH SPECIFICATIONS

EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS

6. HVAC (UNLESS SHARED SYSTEM PRESENT)

- A. SYSTEM TO BE FULLY OPERATIONAL, IN GOOD CONDITION AND PROPERLY BALANCED UPON COMPLETION OF WORK. BALANCE BOTH HEATING AND COOLING. SYSTEM TO BE DEDICATED TO EDJ SPACE.
 - HVAC BALANCE SHEET MUST BE SUBMITTED WITH INVOICE AT PROJECT COMPLETION.
- B. ALL DUCTING, DIFFUSERS, GRILLES, AND THERMOSTATS SHALL BE CLEAN, IN GOOD CONDITION AND PROPERLY FUNCTIONING. LOCATION TO BE REVISED AS NECESSARY PER NEW PARTITION LAYOUT. VERIFY THAT ALL ROOMS IN EDWARD JONES SPACE AS SHOWN ON SHEET 3/4/5 HAVE A MINIMUM OF (1) RETURN AND (1) SUPPLY GRILLE AND MEET TEMPERATURE REQUIREMENTS TO ENSURE A COMFORTABLE WORKING ENVIRONMENT.
- C. IF SPACE IS BEING SUBDIVIDED, EDWARD JONES SPACE TO BE SEPARATELY CONTROLLED--SHARING OF THERMOSTAT WITH ADJACENT SPACES IS NOT ACCEPTABLE UNLESS IT IS AN OFFICE BUILDING THAT UTILIZES A PLENUM RETURN. IF SHARED SYSTEM EXISTS, THERMOSTAT MAY NOT BE LOCATED WITHIN EDWARD JONES LEASED SPACE.
- D. VERIFY THERMOSTAT IS LOCATED IN AN ACCESSIBLE AREA OF THE SPACE AS SHOWN ON FLOOR PLAN (TYPICALLY IN ROOM 101 OR 103).
- E. PROVIDE AND INSTALL A NEW WHITE-RODGERS 7-DAY PROGRAMMABLE THERMOSTAT, UNLESS OTHERWISE NOTED ON PLANS. PROVIDE APPROPRIATE STAT FOR UNIT SIZE AND TYPE. SET THERMOSTAT FOR M-F 8-5 HOURS OF OPERATION. LEAVE INSTRUCTIONS TAPED TO THERMOSTAT FOR FUTURE REFERENCE.
- F. HVAC SYSTEM SHOULD BE ABLE TO MAINTAIN 75 DEGREE F SUMMER AND 70 DEGREE F WINTER TEMPERATURES IN ACCORDANCE WITH THE ASHRAE DESIGN STANDARDS APPLICABLE TO THIS LOCATION. IF NECESSARY, A FORMAL INSPECTION TO VERIFY EQUIPMENT CONDITION SHOULD BE DONE.
- G. EDWARD JONES BOC (AS SHOWN ON EXHIBIT A) REQUIRES VENTILATION. INSTALL A SUPPLY GRILLE IN BOC ROOM (USUALLY ROOM 104) OR AREA IT IS LOCATED IN, TO MAINTAIN CONSTANT TEMPERATURE REQUIRED.
- H. IF BUILDING UTILIZES AN OPEN PELNUM SYSTEM, PROVIDE AND INSTALL SOUND BOOTS ON EACH RETURN GRILL (HERCULES INDUSTRIES SB222 SOUND BOOTS OR SIMILAR).

7. LIGHTING (UNLESS BUILDING STANDARD APPLIES)

- A. IF T12 LIGHTING IS EXISTING UTILIZE BALLAST BYPASS LED LAMPS, PROVIDE AND INSTALL COMMERCIAL GRADE 2X4 LIGHT FIXTURES AT ONE FIXTURE PER EVERY 75 USABLE SF, SO AS TO ACCOMMODATE MINIMUM 50 FOOTCANDLES AT DESK LOCATIONS.
- B. FOR NEW CONSTRUCTION OR NEW LIGHTING REQUIRED THROUGHOUT, PROVIDE AND INSTALL COMMERCIAL GRADE 2X4 LED FIXTURES (UNLESS NOTED OTHERWISE ON RCP ON SHEET 7). CONTRACTOR TO VERIFY LIGHTING LAYOUT MEETS A MINIMUM OF 50 FOOTCANDLES AT DESK LOCATIONS.
 - BASIS OF DESIGN:
 - DEALER: VILLA LIGHTING (*SEE CONTACT ON SHEET 1)
 - STYLE: 2X4 LED, WITH ANGLED DIFFUSER
 - OUTPUT: W/40W, 4700 LUMENS, 3500K
 - OR COMPARABLE ALTERNATE (CONTACT CONSTRUCTION MANAGER FOR APPROVAL).
- C. EDWARD JONES HAS ESTABLISHED A PREFERRED VENDOR ARRANGEMENT WITH VILLA LIGHTING. PLEASE CONTACT VILLA LIGHTING FOR QUOTATION ON THE LIGHTING SPECIFICS.
- D. ALL NEW AND EXISTING LIGHTING SHOULD BE FULLY OPERATIONAL AND IN GOOD CONDITION.
- E. EXIT AND/OR EMERGENCY LIGHTING TO BE INSTALLED AS REQUIRED PER CODE.
- F. A SWITCH SHOULD OCCUR AT MAIN ENTRANCE AND WIRED TO OPERATE LIGHTING IN 101 AND PASSAGE 103 AS SHOWN ON PLAN, UNLESS EXISTING. IF SPACE HAS MORE THAN ONE EGRESS DOOR, SWITCH SHOULD BE 3-WAY TO OPERATE AT BOTH ENTRANCES; EXCLUDING BRANCHES IN CA.
- G. PROVIDE AND INSTALL EXIT LIGHTING AT EGRESS DOORS AS REQUIRED BY CODE.
- H. IF EXISTING, VERIFY THAT ALL LENSES AND LAMPS ARE CONSISTENT IN COLOR. LENSES TO BE FREE OF ANY VISIBLE DAMAGE, STAINS, OR DISCOLORATION OF ANY KIND.
- I. IN ROOMS 101 AND 103, HARD WIRE ONE LIGHT FIXTURE TO REMAIN ON AT ALL TIMES IF NOTED IN SITE SPECIFIC NOTES ON SHEET 3 OF 8. LIGHTS TO BE ORIENTED TO ALLOW ILLUMINATION OF INTERIOR COMMON AREAS FROM EXTERIOR DURING EVENING HOURS. (THIS ITEM TO BE ADJUSTED IN TITLE 24 REGIONS TO MEET LOCAL ENERGY REQUIREMENTS). SEE CONTRACTOR'S NOTES ON SHEET 3 OF 8.
- J. PROVIDE AND INSTALL (1) COMMERCIAL WALL WASH LED TO ILLUMINATE INTERIOR LOGO. INSTALL IN CEILING ABOVE INTERIOR LOGO IN 101 AS NOTED. PROVIDE A SEPARATE SWITCH FOR LIGHT; SWITCH TO BE INSTALLED AT ENTRY DOOR UNLESS OTHERWISE SHOWN.
 - BASIS OF DESIGN:
 - PRODUCT: ELLIPTIPAR S222 WALL WASH
 - COLOR: MATTE WHITE
 - SPECS: L-MOUNT (ACT) OR P-MOUNT (DRYWALL), 3500K, 80+ CRI, NON-DIMMING
 - MOUNTING: FIXTURE TO BE CENTERED ON WALL LOGO.
 - CLG HTS UP TO 9' TALL = 30" OFF FACE OF WALL
 - CLG HTS BETWEEN 9'-10' TALL = 33" OFF FACE OF WALL
 - CLG HTS ABOVE 10' TALL 36" OFF FACE OF WALL
 - OR COMPARABLE ALTERNATE (CONTACT CONSTRUCTION MANAGER FOR APPROVAL).

8. DOORS (UNLESS BUILDING STANDARD APPLIES)

- A. ALL DOORS TO BE INSTALLED CLEAR OF ANY OBSTRUCTIONS.
- B. ALL DOOR CLEARANCES TO BE MET AS SHOWN ON SHEET 3 AND PER ACCESSIBILITY REQUIREMENTS.
- C. ALL DOORS TO HAVE WALL OR FLOOR MOUNTED STOPS, CONSISTENT WITH THE SPACE.
- D. REUSE / RELOCATE EXISTING DOORS AS NOTED ON SHEETS 2 AND 3. ANY EXISTING DOORS BEING REUSED SHALL BE REPAIRED OR REPAINTED AS REQUIRED. REPAIRED DOORS SHALL BE APPROVED FOR REUSE BY EDWARD JONES' DESIGNER.
- E. ANY NEW DOOR SHALL BE NO LESS THAN 3'-0" W, UNLESS OTHERWISE NOTED ON SHEET 3.
- F. ANY NEW DOOR SHALL MATCH EXISTING HEIGHT AND STYLE OF EXISTING, REMAINING DOORS. DOORS CAN NOT BE UNDERCUT FOR ANY REASON. THE MAXIMUM GAP ALLOWED IS 1/2".
- G. DOORS (BOTH INTERIOR AND EXTERIOR) AND OTHER WOODWORK SHOULD BE PAINTED OR STAINED TO MATCH EXISTING BUILDING STANDARD WHERE REQUIRED. IF NO STANDARD IS ESTABLISHED, USE PAINT OR STAIN AS LISTED IN THIS DOCUMENT ON SHEET 4.
- H. FINISHED DOORS WILL BE FREE FROM UNEVEN COLOR, DRIPS OR RUNS. ALL DOOR EDGES, INCLUDING TOP AND BOTTOM, TO BE FINISHED.
- I. EXTERIOR DOORS:
 - 1. ALL SUITE ENTRY DOORS, AND REAR DOORS LEADING TO BUILDING COMMON AREA, MUST HAVE CLOSERS, METAL PRY PLATES, AND THUMB-TURN LOCKSET HARDWARE, ON OCCUPIED SIDE. COORDINATE WITH LANDLORD PRIOR TO INSTALLATION.
 - IF EXISTING DOOR TYPE DOES NOT ALLOW THUMB-TURN LOCKSET (I.E. GLASS DOORS), NOTIFY CONSTRUCTION MANAGER FOR APPROVAL TO UTILIZE ELECTROMAGNETIC LOCK AND KEYPAD.
 - 2. ALL REAR DOORS LEADING TO THE EXTERIOR, MUST HAVE CLOSER, METAL PRY PLATES, CYLINDER GUARD, AT LEAST ONE SECURITY HINGE WITH NON-REMOVABLE PIN (MCKINNEY TA2314 OR APPROVED EQUAL), DEADBOLT, AND PEEPHOLE INSTALLED AT 5'-0" A.F.F. NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF PROPERTY MANAGER WILL NOT ALLOW PEEPHOLE TO BE INSTALLED.
 - 3. IF CODE DOES NOT ALLOW THUMB-TURN OR DEADBOLT DUE TO EGRESS, UTILIZE PANIC HARDWARE.
 - BASIS OF DESIGN:
 - PRODUCT: PHOENIX DOUBLE DEFENDER
 - MODEL: DD-QR, QUICK RELEASE SECURITY BAR
 - NOTE: UL LISTED PANIC HARDWARE 2N43, CALL 913-723-3203 FOR LOCAL RETAILER.
 - OR COMPARABLE ALTERNATE (CONTACT CONSTRUCTION MANAGER FOR APPROVAL)
 - 4. WASHINGTON/OREGON: INSTALL LATCH PADDLES ON EXTERIOR ENTRY DOORS.
 - 5. DOOR CHIME TO BE PROVIDED AT FRONT ENTRY DOOR (IF APPLICABLE, SEE SHEET 3):
 - BASIS OF DESIGN:
 - VENDOR: HOME DEPOT
 - MODEL: HEATH ZENITH WIRELESS DOOR ALERT W/ WHITE COVER & HORIZONTAL LINES, MODEL # 7368-02
 - OR COMPARABLE ALTERNATE (CONTACT CONSTRUCTION MANAGER FOR APPROVAL)
- J. INTERIOR DOORS:
 - 1. NO INTERIOR DOOR CLOSERS TO BE INSTALLED UNLESS OTHERWISE NOTED ON SHEET 3.
 - 2. WHERE ALL NEW INTERIOR DOORS ARE REQUIRED, PROVIDE AND INSTALL COMMERCIAL-GRADE, WOOD DOORS WITH HOLLOW METAL FRAMES.
 - BASIS OF DESIGN:
 - DOOR: PAINT-READY BIRCH WOOD, PAINTED/STAINED PER FINISH SPECS ON SHEET 4. ROOMS 102A, 102B, 104, 105, AND 106 TO BE SOLID CORE. ALL OTHERS MAY BE HOLLOW-CORE UNLESS NOTED OTHERWISE ON PLAN. REPLACE EXISTING AS REQUIRED.
 - FRAME: HOLLOW METAL, PAINTED PER FINISH SPECS ON SHEET 4.
 - SIZE: 3'-0" W X 6'-8" H.
 - 3. ALL DOOR HARDWARE TO BE HANDICAP ACCESSIBLE. REPLACE EXISTING, OR PROVIDE NEW.
 - BASIS OF DESIGN:
 - STYLE: LEVER-STYLE, ADA-COMPLIANT
 - FINISH: MATCH EXISTING OR BUILDING STANDARD, IF APPLICABLE. IF NO STANDARD, NEW HARDWARE TO BE BRUSHED NICKEL.
 - 4. PRIVACY LOCKSET TO BE PROVIDED FOR ROOM 105 (IF APPLICABLE, SEE SHEET 3)
 - 5. KEYLESS STOREROOM LOCKSET TO BE PROVIDED FOR ROOM 104 (IF APPLICABLE, SEE SHEET 3):
 - BASIS OF DESIGN:
 - VENDOR: HOME DEPOT
 - MODEL: KWIKSET #9260CNT720HFL15
 - COLOR: SATIN NICKEL
 - OR COMPARABLE ALTERNATE (CONTACT CONSTRUCTION MANAGER FOR APPROVAL).

9. FLOORING (UNLESS BUILDING STANDARD APPLIES)

- A. IF NEW CONSTRUCTION, GC REQUIRED TO COMPLETE MOISTURE TEST. IF MOISTURE READING IS ABOVE 95, NOTIFY FLOORING VENDOR IMMEDIATELY.
- B. THE EDWARD JONES STANDARD CARPET, VINYL BASEBOARD, AND LUXURY VINYL PLANK SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. INSTALL METHOD FOR CARPET IS DIRECT GLUE IN AN ASHLAR PATTERN. SEE MANUFACTURER'S INSTRUCTIONS FOR POST-INSTALLATION /CLEANING INSTRUCTIONS. LUXURY VINYL PLANK JOINTS TO BE STAGGERED 6"+ IN RANDOM PATTERN. WHEN INSTALLING, CONTRACTOR SHOULD MIX TILES FROM MULTIPLE BOXES.
 - ADHESIVE: 2000 PLUS, SPREAD RATE: 35 SY/GAL
- C. PROVIDE A SMOOTH SURFACE FOR FLOORING INSTALLATION. IF FLOOR IS NOT LEVEL NOTIFY CONSTRUCTION MANAGER IMMEDIATELY.
- D. CONTACT FLOORING VENDOR LISTED ON COVER SHEET 1 IMMEDIATELY AFTER AWARD OF CONTRACT TO COORDINATE FLOORING DELIVERY.

- E. CARPET MATERIAL MUST BE ORDERED FROM CONTACT ON COVER SHEET, WITH WHOM EDWARD JONES HAS NATIONAL CONTRACT WITH. COORDINATION, PURCHASE, AND INSTALLATION OF ALL FLOORING AND FINISHES, AS LISTED IN EXHIBIT A, WILL BE THE FULL RESPONSIBILITY OF THE GC.
- F. ALL CARPET TO BE INSTALLED PER CRI STANDARDS (CARPET & RUG INSTITUTE).
- G. INSTALL SCHLUTER TRANSITION STRIP (ANODIZED ALUMINUM) BETWEEN DISSIMILAR FLOORS.
- H. CARPET TO BE VACUUMED WITH NO PROTRUDING YARN AT SEAMS. IF CARPET IS EXISTING TO REMAIN IN SPACE, GC TO HAVE CARPET PROFESSIONALLY CLEANED.
- I. A FULL BOX OF CARPET TILE SHALL BE LEFT IN STORAGE AREA OF EDWARD JONES SPACE. ALL REMAINING LUXURY VINYL PLANK SHOULD BE LEFT IN EDWARD JONES' STORAGE AREA.

10. PAINT

- A. ALL EXPOSED SURFACES IN AREAS INDICATED IN FINISH SCHEDULE ON SHEET 4, SHALL BE PRIMED AND PAINTED WITH SHERWIN WILLIAMS PAINT.
- B. FOR ALL REPAINT AND REMODEL, THE PRIME COATS NOTED BELOW MAY BE EXCLUDED UNLESS COATING A BARE SURFACE. FOLLOW ALL MANUFACTURERS' RECOMMENDED SURFACE PREPARATION.
- C. ASSUME ONE TRIP FOR TOUCH UP PAINT AFTER FLOORING INSTALLATION AND FURNITURE DELIVERY. REMAINING TOUCH UP PAINT TO BE LEFT IN THE STORAGE AREA OF EDWARD JONES SPACE, CLEARLY LABELED.
- D. IF THERE ARE ANY QUESTIONS REGARDING PAINT COLORS, PLEASE CONTACT EDWARD JONES BRANCH DESIGN- DESIGNER NAME AND PHONE NUMBER LISTED ON EXHIBIT A.
- E. EXACT SPECIFICATIONS MAY BE OBTAINED FROM SHERWIN WILLIAMS: 1-800-474-3794.
- F. REFER TO PAINT SELECTION SHEET 4. COLORS MAY INCLUDE SEVERAL, BUT NOT ALL, OF THE FOLLOWING:

GYPSUM PARTITIONS (EXCEPT ACCENT WALLS & CEILINGS):

- TWO FINISH COATS OVER AN EXISTING FINISH OR PRIMER.
 - SHERWIN WILLIAMS:
 - PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.
 - 1ST & 2ND COATS: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC EGGSHELL, A97-100 SERIES (IN ROLLER APPLICATIONS, USE ONLY A 1/2" NAP SYNTHETIC COVER).
 - COLOR: INDICATED ON SHEET 4

GYPSUM PARTITIONS (ACCENT WALLS): (NOTE Ax , SHEET 4)

- TWO FINISH COATS OVER AN EXISTING FINISH OR A PRIMER.
 - SHERWIN WILLIAMS:
 - PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.
 - 1ST & 2ND COATS: SHERWIN-WILLIAMS COLOR ACCENTS INTERIOR PROMAR 200 ZERO VOC EGGSHELL WALL FINISH, Y38 SERIES.
 - COLOR: INDICATED ON SHEET 4

GYPSUM CEILINGS: ONE FINISH COAT OVER AN EXISTING FINISH OR PRIMER.

- SHERWIN WILLIAMS:
 - PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.
 - FINISH COAT: SHERWIN-WILLIAMS PROMAR 400 INTERIOR LATEX FLAT, B30W451.
 - COLOR: SW7005 PURE WHITE

INTERIOR WOOD DOORS, JAMBS & FRAMES (METAL OR WOOD)

- FOR PAINT ONLY: TWO FINISH COATS OVER A PRIMER
- FOR STAIN: ONE COAT, UNLESS SECOND COAT IS NEEDED FOR A CONSISTENT FINISH THROUGHOUT.
 - SHERWIN WILLIAMS:
 - PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.
 - 1ST & 2ND COATS: SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES
 - COLOR: INDICATED ON SHEET 4
 - OR**
 - SHERWIN WILLIAMS:
 - STAIN: SHERWIN-WILLIAMS MINWAX PERFORMANCE SERIES TINTABLE WOOD STAIN
 - COLOR: INDICATED ON SHEET 4.

EXTERIOR METAL DOORS, JAMBS & FRAMES

- TWO FINISH COATS OVER A PRIMER.
 - SHERWIN WILLIAMS:
 - PRIMER: SHERWIN-WILLIAMS DTM ACRYLIC PRIMER/FINISH, B66W1
 - 1ST & 2ND COATS: SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES
 - COLOR: INDICATED ON SHEET 4

****DO NOT SCALE DRAWINGS****

****CONTRACTOR MUST HAVE (10) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT CONSTRUCTION MANAGER.**

3699 ROUTE 44,
SUITE 1,

MILLBROOK, NY 12545

SQUARE FOOTAGE: 1498 USF | 1300 RSF

Edward Jones

BRANCH REAL ESTATE

BRANCH OFFICE: 23856

DATE: 7.18.2024

**EXHIBIT A
FINISH
SPECIFICATIONS**

SHEET **9** of 10

EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS

11. ELECTRICAL

- A. ELECTRICAL TO INCLUDE OUTLETS AS SHOWN ON EXHIBIT A, INCLUDING DEDICATED OUTLET AS SHOWN.
 - 1. GENERAL PURPOSE OUTLETS
 - ALL OUTLETS TO BE PLACED AS SHOWN ON DRAWING.
 - ONE (1) QUAD OR (2) DUPLEXES AT FUTURE WORKSTATION LOCATION AND (2) QUAD OUTLETS AT BOA WORKSTATION.
 - AT ALL TERMINALS AND OTHER OFFICE EQUIPMENT AS SHOWN ON THE PLAN.
 - 2. DEDICATED OUTLET
 - DEFINITION: A DEDICATED OUTLET IS WIRED DIRECTLY TO THE MAIN POWER DISTRIBUTION PANEL THROUGH A DESIGNATED (DEDICATED) CIRCUIT BREAKER. THE DEDICATED OUTLETS ARE COLOR CODED TO DISTINGUISH THEM FROM GENERAL-PURPOSE OUTLETS. ONLY THE BOC SHOULD BE PLUGGED INTO THE DEDICATED OUTLET. THE TECHNICAL INFORMATION FOR THIS OUTLET IS AS FOLLOWS:
 - ONE DEDICATED OUTLET (SIMPLEX, NOT DUPLEX) REQUIRED FOR THE BOC
 - OUTLET TO BE STANDARD 3-PRONG, 120 VOLT, 20 AMP, DEDICATED CIRCUIT.
 - OUTLET TO BE SIMPLEX, ORANGE COLOR CODED RECEPTACLE (NEMA TYPE 5-15 R/G OUTLET, GE5362-IG OR EQUIVALENT).
 - ALL GROUNDS MUST HAVE SAME GROUND POTENTIAL.
 - 3. RECESSED OUTLET (IF APPLICABLE)
 - LEVITON RECESSED ONE-GANG DUPLEX RECEPTACLE (15A-125VAC 2-POLE, 3-WIRE-NEMA 5-15R) - CAT NO. 689 TO INCLUDE ELECTRICAL BOX.
 - CATALOG NO. 012-00689-00W; UPC NO. 07847731284 1
 - IF ABOVE SPECIFICATION IS UNAVAILABLE, FIND COMPARABLE ALTERNATIVE
- B. ALL OUTLETS TO BE 110 VOLT STANDARD 3-PRONG OUTLETS THAT MEET STATE AND LOCAL REQUIREMENTS (NEMA TYPE 5-15R). THE GROUNDING CONDUCTORS FOR THE BUILDING'S CIRCUITS SHOULD BE REFERENCED TO THE POINT OF "ZERO CURRENT" WITHIN THE ELECTRICAL SUPPLY SYSTEM, WHICH IS WHERE THE NEUTRAL AND GROUND FOR THE SYSTEM ARE TIED TOGETHER.
- C. EXISTING OUTLETS CAN BE USED TO MEET THE REQUIREMENTS FOR GENERAL-PURPOSE OUTLETS ONLY. VERIFY EXISTING OUTLETS TO REMAIN ARE IN WORKING ORDER, AND IF WITHIN 6" OF A NEW OUTLET LOCATION INDICATED, NO NEW OUTLET IS NEEDED.
- D. NEW ELECTRICAL OUTLETS TO BE INSTALLED WHERE SHOWN ON PLANS AT 18" A.F.F., U.N.O..
- E. DEMO/REMOVE OUTLETS ABOVE 18" A.F.F. U.N.O. ON PLANS.
- F. INSTALL OR REPLACE ALL OUTLET AND LIGHT COVERS/SOCKETS WITH WHITE THROUGHOUT, U.N.O..
- G. ALL COMPUTER EQUIPMENT FOR THIS OFFICE IS SENSITIVE TO HIGH ELECTROMAGNETIC INTERFERENCE (EMI). IT IS RECOMMENDED THAT THE AMBIENT EMI IN THE OFFICE DOES NOT EXCEED 2 MG. PLEASE NOTIFY DESIGNER IMMEDIATELY IF SITE IS LOCATED NEAR EXISTING POWER LINES, TRANSFORMERS, SUB-STATIONS, ETC.
- H. LANDLORD RESPONSIBLE FOR SETTING UP UTILITIES OR PROVIDING TEMPORARY ELECTRICAL IN SPACE THAT IS NEW CONSTRUCTION OR SPACE THAT IS BEING SUBDIVIDED. GENERAL CONTRACTOR IS RESPONSIBLE FOR ASSURING TEMPORARY POWER FOR ALL FINISH OUT WORK IF NOT ALREADY PROVIDED.
- I. ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL PANEL WILL ACCOMMODATE EDWARD JONES REQUIREMENTS OF 200 AMPS; UPGRADE AS REQUIRED.
- J. CONTRACTOR TO INSTALL 2'X3' MINIMUM BACKER BOARD OF FRT PLYWOOD AT BOC LOCATION. BOARD TO BE PAINTED TO MATCH THE WALL WHEN THE WALL IS SCHEDULED FOR PAINT PER THE FINISH SCHEDULE. CONFIRM WITH FIRE MARSHALL PRIOR TO PAINTING AND LEAVE RATING STAMP EXPOSED WHENEVER REQUIRED. BOARD TO BE INSTALLED AT 36" A.F.F. TO THE BOTTOM AT THE LOCATION SHOWN ON THE PLAN. REFER TO SHEET 3 FOR LOCATION ON PLAN.
- K. ELECTRICIAN TO INSTALL 3/4" CONDUIT & BOX WITH PULL STRING OR MUD RING (EXISTING WALL) AT ALL LOCATIONS (SEE SECTION 12 BELOW) WITH LOW VOLTAGE COMMUNICATION CONNECTIONS. INSTALL (1) SINGLE GANG BOX AT EACH LOCATION INDICATED ON THE DRAWING WITH A TRIANGLE (▼ OR ▽). DO NOT INSTALL A DOUBLE GANG BOX AT LOCATIONS WHERE (2) SYMBOLS ARE ADJACENT. REFER TO LEGEND AND PLANS ON EXHIBIT A FOR LOCATIONS OF DOUBLE GANG BOXES.

12. LOW VOLTAGE (ALSO KNOWN AS PHONE/DATA CABLING)

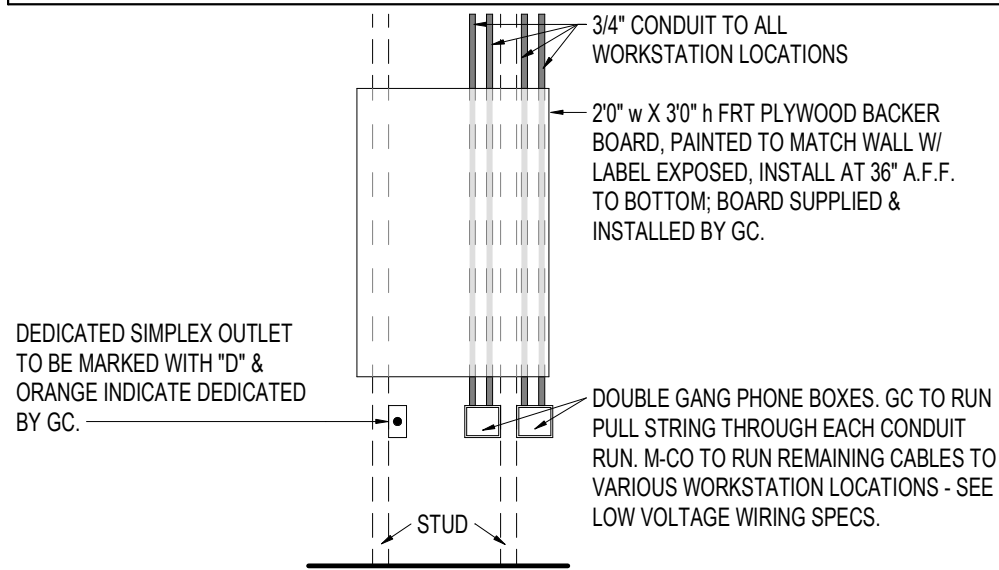
- LOW VOLTAGE WIRING (ALSO KNOWN AS PHONE/DATA CABLING)
 - A. LOW VOLTAGE IMPLIES THE ACTUAL WIRE OR CABLE THAT IS RUN FROM THE BOC TO EACH PHONE, COMPUTER, PRINTER, AND FUTURE WORKSTATION LOCATION, WITH THE EXCEPTION OF ANY DEMARC EXTENSION IF NOTED. LOW VOLTAGE WORK IS DONE BY EDWARD JONES BRANCH INSTALL DEPT. THROUGH A PREFERRED NATIONAL VENDOR. THIS WORK IS DONE AFTER THE SPACE IS TURNED OVER TO CLIENT. CONTRACTOR ONLY RESPONSIBLE FOR GANG BOXES, AV FACEPLATES, CONDUIT, AND PULLSTRINGS AS NOTED IN NEXT SECTION.
 - B. IF LOW VOLTAGE WORK IS REQUIRED TO BE PERMITTED AND INSPECTED AS NOTED ON EXHIBIT A, GENERAL CONTRACTOR IS TO COORDINATE THE INSTALLATION WITH EDWARD JONES; CONTACT LEASING COORDINATOR/PROJECT MANAGER LISTED ON SHEET 1. NOTE THAT PRE-WIRE IS NOT STANDARD AND IS ONLY DONE WHEN REQUIRED VS. BEING DONE FOR CONVENIENCE. PREWIRE WILL BE REQUIRED IF CEILING HEIGHT IS OVER 9'-0" IN U.S. AND OVER 10'-0" IN CANADA; AND/OR IF INDICATED ON SHEET 3. IF A PREWIRE IS INDICATED ON SHEET 3, GC TO CONTACT CONSTRUCTION MANAGER WHEN PROJECT IS READY FOR LOW VOLTAGE PRE-WIRE.
 - C. NOTIFY LEASING COORDINATOR/PROJECT MANAGER OF LOW VOLTAGE REQUIREMENTS NEEDED IN ORDER TO OBTAIN CERTIFICATE OF OCCUPANCY.
 - 1. ELECTRICAL BOXES - 4X2-1/8D HANDY BOX MUST BE USED, PER DIAGRAM BELOW FOR ALL LOW VOLTAGE APPLICATIONS IN NEW WALLS AND CONCRETE WALLS.
 - 2. MUD RINGS - MPLS METAL SINGLE GANG DRYWALL MOUNTING PLATE, PER DIAGRAM BELOW FOR ALL LOW VOLTAGE APPLICATIONS IN EXISTING WALLS.

CONDUIT-DEMISED PREMISES

- A. CONDUIT STUB-UPS TO BE INSTALLED IN NEW WALLS WHERE PHONE/DATA/PRINTERS ARE SHOWN ON THE FLOOR PLAN (INDICATED BY TRIANGLE ▼) IF THE NEW CEILING IS DRYWALL, INSTALL CONDUIT FROM THE POINT OF CONNECTION (PHONES/DATA/PRINTER LOCATIONS INDICATED WITH ▼) AND STUB ABOVE CEILING WITH PULL STRING RUN TO THE POINT OF TERMINATION (CLIENT SERVER OR BOC).
- B. CONFIRM ACTUAL LOCATIONS ON EXHIBIT A PRIOR TO INSTALLATION. EXISTING CONSTRUCTION--CONDUIT NOT TO BE DONE IF IT REQUIRES REMOVAL OF DRYWALL PARTITIONS OR CEILINGS, UNLESS PRIOR APPROVAL RECEIVED FROM EDJ DESIGNER. IF WIREMOLD PRODUCT IS REQUIRED, INSTALL PANDUIT RACEWAY LD10E16-A.
- C. PROVIDE ONE SINGLE GANG BOX (ONE PER TRIANGLE ▼) AND PULL STRING AT EACH CONDUIT LOCATION. LABEL PULL STRINGS AT POINT OF TERMINATION (BOC) WITH ROOM NUMBER OF POINT OF CONNECTION. RECEPTACLES AND FACEPLATES TO BE PROVIDED BY EDWARD JONES BRANCH INSTALL.
- D. IF APPLICABLE, PROVIDE ONE SINGLE GANG BOX AND BRUSH CABLE PASS-THRU FACEPLATE (ONE PER TRIANGLE ▽) WITH PULL-STRING BETWEEN AV GANG BOXES FOR FUTURE FA-PROVIDED AV CABLING.
- E. IF WALLS ARE EXISTING AND CONDUIT IS NOT INSTALLED, PROVIDE PULL STRING AND CUT IN A NEW BOX AT THE SAME LOCATIONS.
- F. STANDARD STUB-UP QUANTITY: AS LISTED BELOW, UNLESS NOTED OTHERWISE ON PLANS - INDICATED BY TRIANGLE SYMBOL ON FLOOR PLANS.
 - 1. 3/4" CONDUIT LOCATIONS
 - (2) AT WELCOME DESK (101)
 - (1) AT EACH FA OFFICE (102A-F)
 - (1) AT OPEN 106 OR AS INDICATED ON PLAN
 - 2. ADDITIONAL MAY BE NEEDED IF ADDITIONAL DATA PORTS ARE SHOWN ON PLAN.
- G. ALL BOXES AND CONDUIT AT BOC LOCATION TO BE INSTALLED PER DETAIL. #6 GROUND WIRE MUST BE INSTALLED AND TERMINATED ON A BUSBAR FOR #6 WIRE MOUNTED ON THE BOTTOM CORNER OF THE BACK BOARD. THE BUSBAR SHOULD HAVE 4 TO 6 TERMINALS.
- H. CONTACT BRANCH REAL ESTATE IMMEDIATELY IF THERE ARE ANY QUESTIONS REGARDING THE NUMBER OF PHONES LINES.

BOC REQUIREMENTS:

NOTE: CONDUIT IS INSTALLED INSIDE WALL. IF WALL IS EXISTING, CONDUIT MAY BE SURFACE MOUNTED. MUST HAVE ROOM FOR EQUIPMENT TO INSTALL ON PLYWOOD. (SEE KEYED NOTE #1 ON SHEET 3)

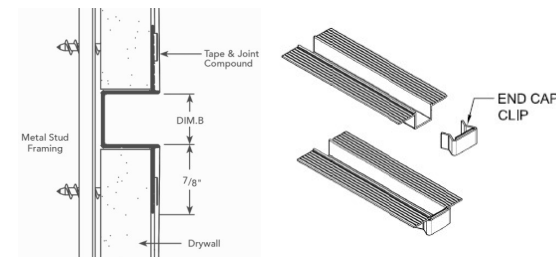


13. MISCELLANEOUS (ONLY IF SHOWN ON SHEET 3)

- A. FIREPLACES, STOVES, SHOWERS, TUBS
 - 1. ALL GAS AND PLUMBING LINES TO THESE ELEMENTS/FIXTURES TO BE RENDERED INOPERABLE AND ALL LINES TO BE CAPPED.
 - 2. IF WOOD BURNING FIREPLACE EXISTING GC TO INSTALL COVER MADE FROM LUMBER AND DRYWALL THAT RESTS INSIDE THE OPENING AND DOES NOT DAMAGE THE FIREPLACE.

14. EDWARD JONES STANDARD SIGNAGE

- A. FOR ORDERING & INSTALL INSTRUCTIONS, SEE CONTACT INFO ON SHEET 1
- B. EDJ LOGO
 - 1. EDJ LOGO LETTERING TO BE ORDERED BY CONTRACTOR, BUT WILL BE PAID FOR BY EDWARD JONES. ONLY INSTALLATION SHOULD BE INCLUDED IN CONTRACTOR'S SCOPE OF WORK.
 - 2. LETTERING TO BE CENTERED ON PARTITION AS SHOWN ON FINISH PLAN ON SHEET 4. REFER TO SIGNAGE ELEVATION FOR MOUNTING HEIGHT.
 - 3. CONTRACTOR TO USE PROVIDED TEMPLATE FOR ACCURATE ALIGNMENT, ALLOW AT LEAST 2" ON EITHER SIDE OF LETTERING. IF PARTITION SELECTED DOES NOT MATCH ELEVATION, NOTIFY DESIGNER IMMEDIATELY.
- C. BRAND WALL METAL REVEAL (IF APPLICABLE, SEE SHEET 4)
 - 1. CONTRACTOR TO ORDER METAL REVEAL (EDJ-625-625) FROM FRY REGLET AND INSTALL PER MANUFACTURER INSTRUCTIONS. REFERENCE FINISH PLAN AND SIGNAGE ELEVATION ON SHEET 4.
 - a. REVEAL AVAILABLE IN 10' STANDARD LENGTHS ONLY. 10' REVEAL TO BE CENTERED IF WALL IS LONGER THAN 10', U.N.O. ON PLAN. SEE FINISH PLAN ON SHEET 4 FOR DIMENSIONS OF REVEAL.
 - b. INSTALL END CAP CLIP WHERE APPLIES AT OPEN ENDS



15. INTERIOR CASEWORK AND EQUIPMENT

- A. REFER TO SHEET 3 FOR CASEWORK SCOPE OF WORK.
- B. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF ALL CASEWORK SCOPE OF WORK. SEND TO CONSTRUCTION MANAGER FOR REVIEW / APPROVAL.
- C. ALL CASEWORK TO BE MADE UP OF 3/4" PLYWOOD WITH PLASTIC LAMINATE ON ALL EXPOSED EDGES, AND BLACK MELAMINE INTERIOR. INTERIOR ADJUSTABLE SHELVING TO BE MADE UP OF 3/4" PLYWOOD WITH BLACK MELAMINE ON ALL EXPOSED EDGES.
- D. CASEWORK TOE KICK TO BE MATCHING VINYL BASE TYPICAL, U.N.O. ON ELEVATIONS.
- E. CASEWORK TO INCLUDE SOFT-CLOSE HINGES AND DRAWER SLIDES AS APPLICABLE.
- F. CABINET PULLS TO BE 3" CENTER-TO-CENTER, BRUSHED NICKEL T-BAR PULLS
 - BASIS OF DESIGN: HOME DEPOT, ROK SKU #1002920741.
 - OR COMPARABLE ALTERNATE (CONTACT CONSTRUCTION MANAGER FOR APPROVAL).
- G. REFER TO SHEET 6, ELEVATIONS AND CASEWORK FINISH SCHEDULE, FOR EXACT FINISHES FOR CASEWORK.
- H. ALL WOOD-LOOK CASEWORK LAMINATE TO RUN VERTICALLY, U.N.O. ON ELEVATIONS.
- I. ALL ELECTRICAL, PLUMBING, AND PLUMBING FIXTURES FOR KITCHENETTES AND COFFEE BARS TO BE PROVIDED AND INSTALLED BY CONTRACTOR. SEE SCHEDULE ON SHEET 6.
- J. ALL APPLIANCES FOR KITCHENETTES AND COFFEE BARS TO BE PROVIDED AND INSTALLED BY FINANCIAL ADVISOR.
- K. ALL CASEWORK TO BE BUILT TO COMPLY WITH ADA AND BUILDING ACCESSIBILITY CODE

16. WINDOW TREATMENTS

- A. REFER TO SHEET 3 FOR WINDOW TREATMENT SCOPE OF WORK, AND SHEET 4 FOR FINISH SPECIFICATION.
- B. ALL ROLLER SHADES AND BLINDS TO COME WITH 3" FASCIA TO MATCH.
- C. IF APPLICABLE, NEW WINDOW TREATMENTS TO BE INSTALLED AT CONSTRUCTION COMPLETION, BUT PRIOR TO FINAL PUNCH LIST
- D. FOR ORDERING & INSTALL, SEE CONTACT INFO ON SHEET 1.

****DO NOT SCALE DRAWINGS****

****CONTRACTOR MUST HAVE (10) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT CONSTRUCTION MANAGER.**

3699 ROUTE 44,
SUITE 1,
MILLBROOK, NY 12545

Edward Jones
BRANCH REAL ESTATE

BRANCH OFFICE: 23856

DATE: 7.18.2024

SQUARE FOOTAGE: 1498 USF | 1300 RSF

EXHIBIT A
FINISH
SPECIFICATIONS

SHEET **10** of 10

OFFICE OF THE SUPERVISOR
GARY CIFERRI
(845) 677-3419

RECEIVED
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CBnyss

TOWN OF WASHINGTON

10 Reservoir Drive
P.O. Box 667
Millbrook, New York 12545

VARIANCE _____ SPECIAL PERMIT

Tax map ID/Grid Number: 367384

Owner Name Brian Kiernan

Address 3699 Rte. 44

Description of Variance or Special Permit:

Applicant sought Special Use Permit for professional offices for first floor of building.

Special Conditions:

must include 1099 employees, must remove dumpster, and must provide 11 parking spaces

Approved

Disapproved _____

Board Members: Motion	<u>Member Cornell</u>	Second:	<u>Member Meaney</u>
<u>Ch. Jorgensen</u>	<u>absent</u>	<u>Member Meaney</u>	<u>aye</u>
<u>Member Alexander</u>	<u>aye</u>	<u>Member Spence</u>	<u>aye</u>
<u>Member Cornell</u>	<u>aye</u>	<u>Member Philipps</u>	<u>absent</u>
<u>Member Drury</u>	<u>aye</u>		

Signature Kristen Pitore

Date of Meeting 11/1/2022

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Town of Washington Planning Board

RESOLUTION APPROVING SPECIAL USE PERMIT

Brian Kiernan – Adirondack Property Solutions
3699 Route 44

Town of Washington Planning Board member Cornell offered the following resolution, which was seconded by member Meaney as follows:

WHEREAS, the Applicant, Brian Kiernan, submitted an application for a special use permit to allow professional offices on the first floor of a two-story mixed-use building located at 114 Jameson Hill Road, tax parcel no. 135889-6865-03-367384-0000, a 29-acre property located within the HM zoning district in the Hamlet of Mabbettsville (the “Property”); and

WHEREAS, the Property is depicted on a survey entitled “SURVEY/SITE PLAN FOR ADIRONDACK PROPERTY SOLUTIONS” prepared by Steven J. Green PLS dated July 20, 2022 and subsequently revised on September 20, 2022 ~~and _____~~ (“Survey”); and

WHEREAS, the first floor of the Property where the proposed professional offices would be located is approximately 1,500 square feet; and

WHEREAS, said space in the mixed-use building was previously used as a commercial space, however said permitted use was discontinued for over twelve (12) consecutive months prior to the current office use; and

WHEREAS, the proposed professional offices on the first floor would be used for a real estate management company office with a maximum number of five (5) employees; ~~and~~ including

WHEREAS, the parking lot located on site of the Property will contain no less than eleven ^{5 1099 employees;} and (11) parking spaces; and

WHEREAS, the Applicant submitted an Agricultural Data Statement signed and dated April 21, 2022; and

WHEREAS, the Applicant submitted a Short Environmental Assessment Form dated April 21, 2022; and

WHEREAS, pursuant to 6 NYCRR 617.5(c)(18), this application is considered a Type II action pursuant to the State and Environmental Quality Review Act, which requires no additional environmental review; and

WHEREAS, the Project was referred to the Dutchess County Department of Planning and Development pursuant to Section 239-m of the General Municipal Law, which responded on October 28, 2022 that the application was a matter of local concern; and

WHEREAS, the Planning Board determined that the submitted Survey satisfies the site plan requirements of the Town of Washington Town Code, specifically the standards set forth in Town Code Section 483, since no alterations to the building exterior or existing parking area have been proposed ; and

WHEREAS, the special permit application meets all applicable requirements of the Town Code, specifically Section 470; and

WHEREAS, the Planning Board held a duly noticed public hearing for the Project on November 1, 2022, during which all those who wished to speak were heard.

NOW, THEREFORE BE IT RESOLVED, that the Planning Board of the Town of Washington makes the following findings in accordance with Sections 274-a and 274-b of the Town Law and the Town of Washington Zoning Code:

1. The Survey submitted by the application fulfills the applicable requirements in Article IV of the Town's Zoning Code as provided in Sections 472 and 483 to 487 and will be consistent with the purpose of the Chapter.
2. The Project will further comply with the applicable requirements in Article IV of the Town's Zoning Code as provided in Sections 470 to 473 and will be consistent with the purpose of the Chapter.
3. In accordance with Zoning Code Section 313.3, the proposed use, layout, and design will enhance the historic architectural fabric of Mabbettsville and is consistent with the goals of the HM district to encourage traditional, mixed-use village planning since the requested special permit will facilitate the resumption of commercial use on the first-floor of the building while continuing the residential use of the second floor with no alterations to the existing layout.
4. The proposed Project further complies with the minimum parking requirements outlined in Appendix "C" and Section 313.6 of the Zoning Code as the applicant will provide eleven

(11) parking spaces at the mixed-use Property for use by the residential and commercial tenants.


BE IT FURTHER RESOLVED, that the Planning Board of the Town of Washington hereby grants the special use permit and authorizes the Chairman of the Planning Board or his designee to sign the submitted Survey with the following conditions:

- (a) Complete payment of all municipal fees and the Town's consulting costs; and
- (b) The number of employees occupying the professional offices shall not exceed five (5) individuals; ~~and~~, including 1099 employees; and
- (c) Property shall have eleven (11) parking spots for use by commercial and residential tenants.

The foregoing Resolution was duly put to a vote which resulted as follows:

Chairman Jorgensen	<u>absent</u>
Member Alexander	<u>aye</u>
Member Cornell	<u>aye</u>
Member Drury	<u>aye</u>
Member Meaney	<u>aye</u>
Member Philipps	<u>absent</u>
Member Spence	<u>aye</u>

Dated: Millbrook, New York
November 1, 2022


Kristen DiFiore, Secretary
Town of Washington Planning Board



Town of Washington

Building Department
10 Reservoir Drive • P.O Box 667
Millbrook, NY 12545
(845) 677-3419 EXT 112 • buildinginspector@washingtontny.org

Application for Building Permit

This application must be completely filled out with ink and submitted to the Building Office at the Town of Washington Town Hall. To be submitted along with this application:

1. Two complete plans of the proposed construction, showing materials and equipment to be used, and the details of structural, mechanical, plumbing, electrical, and Energy Code Compliance, as applicable. The Building Inspector may require that these plans be stamped and signed by a New York State registered architect or engineer.
2. A plot plan showing the proposed construction in relation to the property line boundaries, existing structures, and wetlands, if applicable.
3. Owner's Authorization Form and Insurance information as required, see below.

Applicant: Name Matt Soleau, Hyalite Builders, LLC
Address: 30 Wakeman Rd., Millerton, NY 12546 **Phone:** (631) 255-5751
Email: matt@hyalitebuilders.com

Property Owner: Name: Brian Kiernan, Adirondack Property Solutions
Address: 3699 Rt. 44, Millbrook, NY 12545 **Phone:** ADKREALTYMGMT@GMAIL.COM

Signed and Notarized Owner's Authorization Form Attached **OR** Property Owner same as Applicant

Property: Address: 3699 Rt. 44, Millbrook, NY 12545
Tax Grid ID Number: 135889-6865-03-367384-0000 **Zoning District:** HM

Is the proposed project located in a wetland or 100 year flood plain? NO

Proposed Work: Setbacks from property line: Front , Rear , Side 1 , Side 2

New Building Addition Alteration/Renovation Repair Installation(HVAC, etc) Demolition Retroactive C/O
 Swimming Pool/Hot Tub Fireplace/Wood/Pellet Stove Roofing/Siding Deck Tent >400FT² Agricultural
 Propane Tank Shed or Barn Solar Other (please specify)

Builder's Name: Hyalite Builders, LLC **Phone:** (631) 255-5751
Builder's Address: 30 Wakeman Rd., Millerton, NY 12546
Builder's Email: matt@hyalitebuilders.com

Builders must provide proof of Workers Compensation Insurance (C105.2 or U26.3) and proof of Disability Benefits Compensation (DB120.1) Homeowners or Sole Proprietors may provide CE-200 Certificate of Attestation of Exemption. Builder's Insurance Information attached Exemption Form Attached

Estimated Cost of Project: \$149,000.00 **Description of Proposed Work (include square footage as applicable):**

Alteration and renovation of existing ground-floor commercial space. Removal of existing finishes per plan. New partitions, lighting, electrical distribution per plans. Reconfiguration of (1) bathroom per plans. Installation of new floor, wall and ceiling finishes per plans. Install pantry cabinets per plans. Retain existing mechanical / HVAC systems.

Please read, initial, and sign page 2.




Town of Washington

Application for Building Permit

I hereby certify that I have read, do understand, and will comply with the following: (Please read, initial each, then sign)

1. The work covered by this application may not be commenced before the issuance of a Building Permit. Work begun prior to the issuance of a Building Permit will be subject to an additional fee of 55%. MPS
2. Building Permits shall be visibly displayed at the work site and remain visible until the project has been completed. MPS
3. All work shall be performed in accordance with the construction documents submitted and accepted as part of the application. The Building Inspector shall be notified immediately in the event of changes occurring during construction. MPS
4. A building permit becomes void if the work is not started within 180 days of issue. Building permits expire 1 year after issue, and may be renewed for up to (2) 6 month periods, renewal fee is 55% of the original fee. MPS
5. The applicant agrees to comply with all applicable State and Town laws, ordinances and regulations. MPS
6. Work shall remain accessible and exposed until inspected and accepted by the Building Inspector, and it is the responsibility of the applicant to schedule all required inspections. MPS
7. No structure or improvement may be occupied or used in whole or in part for any purpose whatsoever until a Certificate of Occupancy or Certificate of Compliance has been issued. MPS
8. The applicant does hereby give consent to representatives of the Town of Washington, including, but not limited to the Building Inspector, Zoning Administrator or Assessor to conduct such inspections as they deem necessary in relation to this building permit application, date and time of inspections to be scheduled in advance with the property owner or their representative. MPS

Applicant:  **Date:** 1/16/25
SIGNATURE

Building Inspector: _____ **Date:** _____

FOR OFFICE USE ONLY: Permit Number: _____ Permit Fee: _____ Check Number: _____

Zoning Approval No Open Permits or Violations Insurance Plans and Site Plan Plan Review

Reason if Denied/Referred: _____

Type of Construction: **I II III IV V A B** Use and Occupancy Classification: _____

Assembly Occupant Load: _____ Automatic Sprinkler System: **Y N** Required: **Y N**

Bedrooms: _____ # Bathrooms: _____ # Kitchens: _____ Basement Type: _____ Finished: **Y N** Sq Ft: _____

Walls: _____ Siding: _____ Roof: _____ Finished Attic: **Y N**

Insulation: Ceiling _____ Walls: _____ Floor: _____ Slab: _____ Foundation: _____



TOWN OF WASHINGTON
BUILDING, PLANNING & ZONING
10 Reservoir Dr, PO Box 667
Millbrook, NY 12545
845-677-3419

Consent to Inspection

The undersigned, does hereby state:

_____ Brian Kiernan _____ and _____

Owner Name _____ Owner Name _____

That the undersigned is/are the owner(s) of the premises in Town of Washington, located at
_____ 3699 Rt. 44 (First Floor), Millbrook, NY 12545 _____

which is shown and designated on the Dutchess County Tax Map as:

_____ 135889 - 6865 - 03-367384 - 0000 _____

That the undersigned (has) (have) filed, or cause to be filed, an application with the Town of Washington for the following:

_____ Assessment Review _____ Building Permit
_____ Municipal Search _____ Planning Board Application
_____ Zoning Board of Appeals Application

That the undersigned do(es) hereby give consent to representatives of the Town of Washington, including but not limited to the Building Inspector, Zoning Administrator, or Assessor of the Town of Washington to enter upon the above described property, including any and all buildings located thereon, to conduct such inspections as they may deem necessary with respect to the aforesaid application, including inspections to determine that said premises comply with all of the laws, ordinances, rules, and regulations of the Town of Washington. The time and date of the inspection will be scheduled in advance with the property owner or their representative.

That the undersigned, in consenting to such inspections, does so with the knowledge and understanding that any information obtained will be used in conjunction with the application, and may delay your application if violations of the laws, ordinances, rules or regulations of the Town of Washington have been identified, and that your assessment may be increased based upon information found in the site inspection.

Signature
_____ Brian Kiernan _____

Signature

Print Name _____
Dated: _____

Print Name _____
Dated: _____