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8. Subject to covenants, easements, restrictions, conditions and agreements of record.
9. Subject to any right, title or interest the public may have for highway use.
10. Bearings and North shown hereon are referenced to NAD 83-NY East using NYSNET RTN GPS.

FILED MAP REFERENCE

Survey shown hereon depicts lot(s) 2 as shown on a map entitled "2 Lot Subdivision & Survey Map of Lands for Berry" and filed in the Dutchess County Clerks office on June 3, 1998 as Map No. 10605

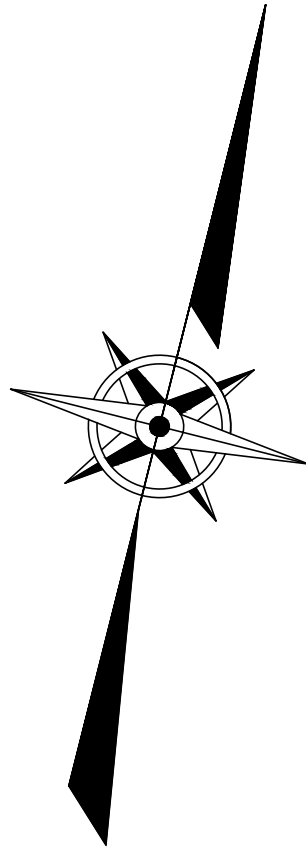
DEED REFERENCE

Doc. #02 2015 7516  
JL Family Trust  
To  
White Rock Farm Trust  
November 18, 2015

Doc. #02 2016 5856  
Mid Hudson Catskill Rural Migrant Ministry Inc.  
To  
White Rock Farm Trust  
August 31, 2016

TAX PARCEL NUMBER

Town of Washington, Dutchess County, New York  
6964-00-072972  
6964-00-059898



Now or Formerly  
Town of Washington  
Liber 1747, Page 706  
6864-00-932779

Now or Formerly  
Town of Washington  
Liber 1669, Page 510  
6864-00-978764

Parcel 2  
46.462 Acres

Parcel 1  
34.159 Acres

Now or Formerly  
Pregiato  
6964-00-072972  
Lot 1 FM 10605

43 BUTTS HOLLOW

MAP OF A SURVEY  
PREPARED FOR  
WHITE ROCK FARM TRUST

TOWN OF WASHINGTON, COUNTY OF DUTCHESS, STATE OF NEW YORK

JOHNSON  
SURVEYING

BRENDAN JOHNSON, PLS  
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Pleasant Valley, NY 12569  
Phone No. (845) 380-0528  
johnsonboundaries@gmail.com

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rev.	date	description

BRENDAN JOHNSON, P.L.S.  
P.L.S. No. 50919

tax id	072972 & 059898
address	43 BUTTS HOLLOW RD
date	8/23/2021
scale	1"=150'
project no.	21-118
project name	43 BUTTS HOLLOW RD
sheet	1 OF 1

# WHITE ROCK FARM - MAIN HOUSE RENOVATION AND ADDITION

43 BUTTS HOLLOW ROAD, DOVER PLAINS, NY  
TAX MAP# 6964-00059898

## AREA VARIANCE APPLICATION SET OF DRAWINGS

10/17/2022

**SCOPE OF WORK AND AREA TAKE-OFFS:**

RENOVATION AND EXPANSION OF AN EXISTING SINGLE FAMILY HOUSE,  
CONVERT FROM 3-BEDROOM TO 4-BEDROOM. SEPTIC TO BE UPGRADED.  
AREA OF EXISTING HOUSE TO BE RENOVATED OR REBUILT - 2,775 SF  
AREA TO BE ADDED TO EXISTING HOUSE - 1,047 SF  
TOTAL ENLARGED HOUSE AREA - 3,822 SF  
ALL EXISTING WINDOWS TO BE REPLACED. EXISTING THERMAL  
INSULATION TO BE REPLACED AND UPGRADED. NEW HVAC.

**LIST OF DRAWINGS:**

ARCHITECTURAL

A-000	COVER SHEET / PROJECT SCOPE / DRAWING LIST
A-001	SITE PLAN
DM-100	DEMOLITION PLAN - LOWER LEVEL
DM-101	DEMOLITION PLAN - FIRST FLOOR
DM-102	DEMOLITION PLAN - SECOND FLOOR
DM-103	DEMOLITION PLAN - ROOF
DM-200	DEMOLITION EXTERIOR ELEVATION - WEST
DM-201	DEMOLITION EXTERIOR ELEVATION - NORTH
DM-202	EXTERIOR ELEVATION - EAST
DM-203	EXTERIOR ELEVATION - SOUTH
A-100	CONSTRUCTION PLAN - LOWER LEVEL
A-101	CONSTRUCTION PLAN - FIRST FLOOR
A-102	CONSTRUCTION PLAN - SECOND FLOOR
A-103	CONSTRUCTION PLAN - ROOF
A-200	EXTERIOR ELEVATION - WEST
A-201	EXTERIOR ELEVATION - NORTH
A-202	EXTERIOR ELEVATION - EAST
A-203	EXTERIOR ELEVATION - SOUTH
A-300	LONG SECTIONS
A-301	CROSS SECTIONS

SEPTIC SYSTEM DESIGN (DOH APPROVED)

SDS-1	SDS PLAN AND NOTES
SDS-2	DETAILS
SDS-3	SDS DETAILS AND NOTES

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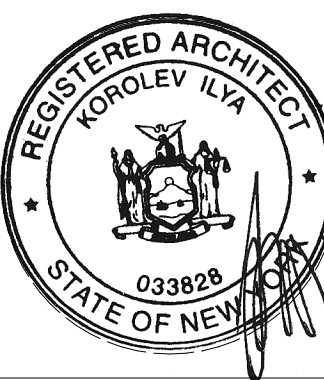
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HOUSE RENOVATION AND  
ADDITION  
43 Butts Hollow Road, Dover Plains, NY

DRAWING TITLE:

COVER SHEET /  
PROJECT SCOPE /  
DRAWING LIST



ISSUE DATE:

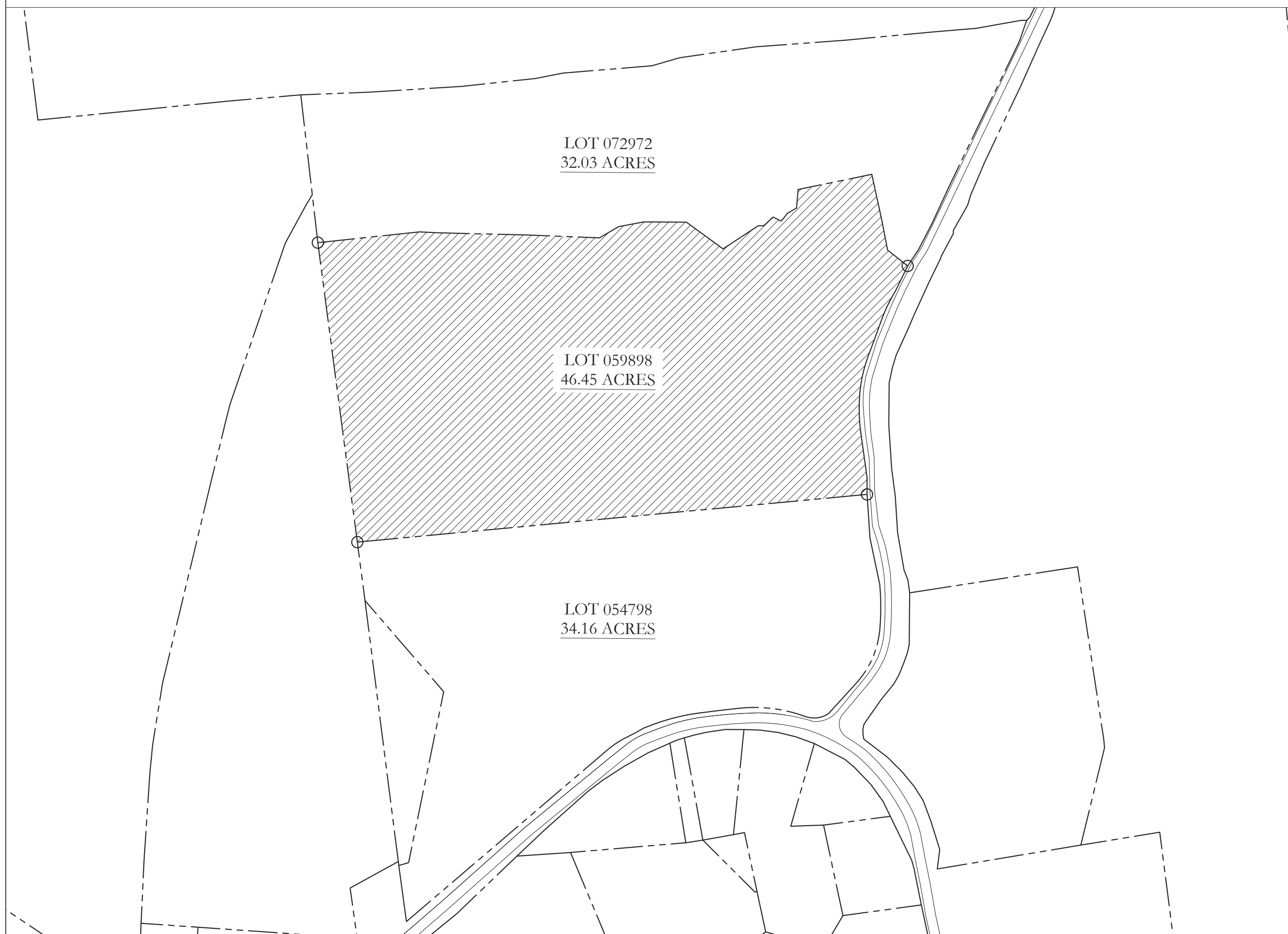
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A-000





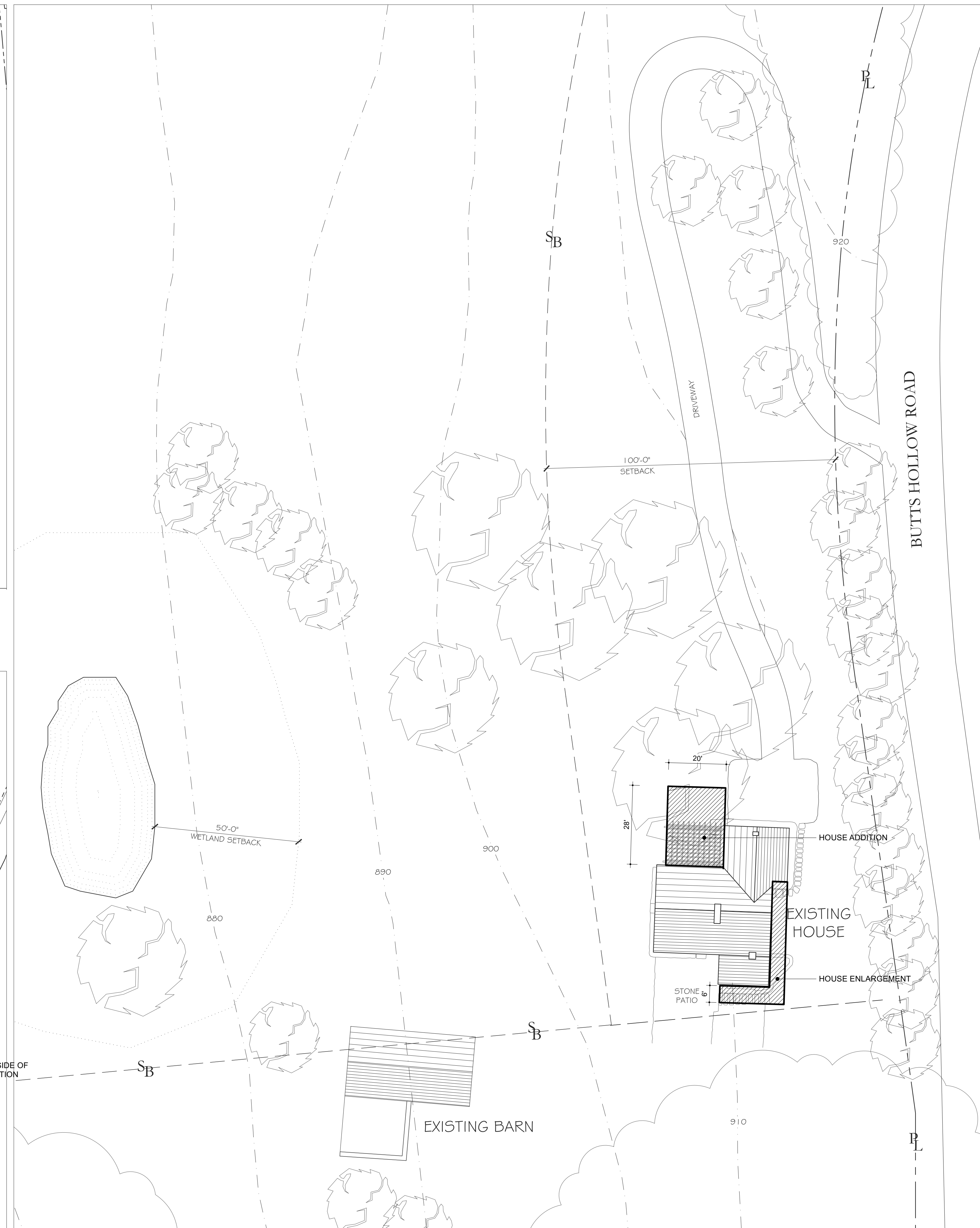
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Scale: N.T.S.

Scale: N.T.S



2 AREA MAP  
Scale: N.T.S.

Scale: N.T.S



3 SITE PLAN  
Scale: 1"=20'

Scale: 1"=20'

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## SITE PLAN



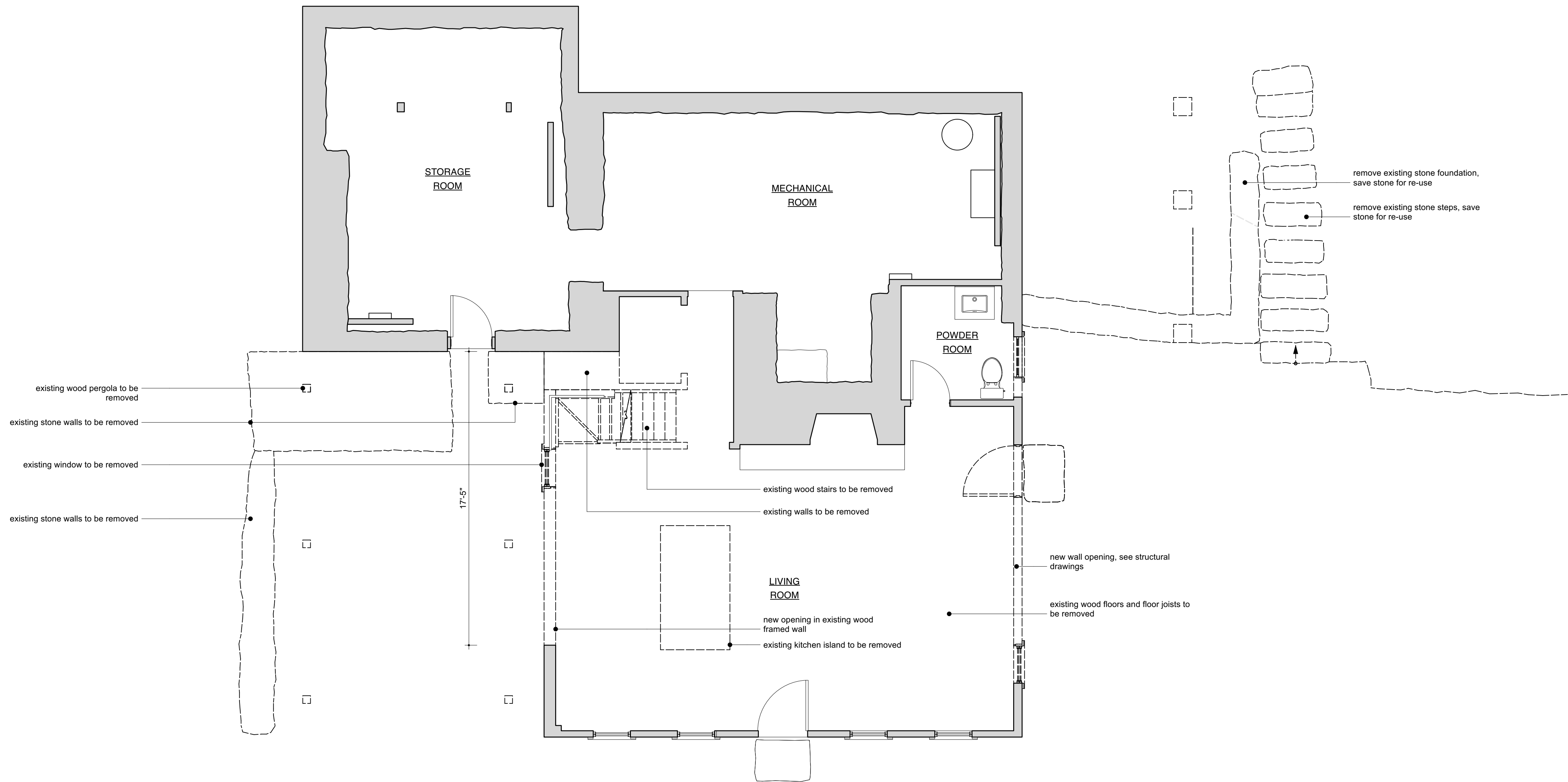
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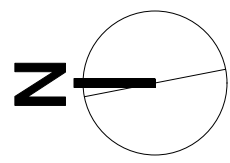
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A-001



1 DEMOLITION PLAN - LOWER LEVEL  
Scale: 1/4" = 1'-0"



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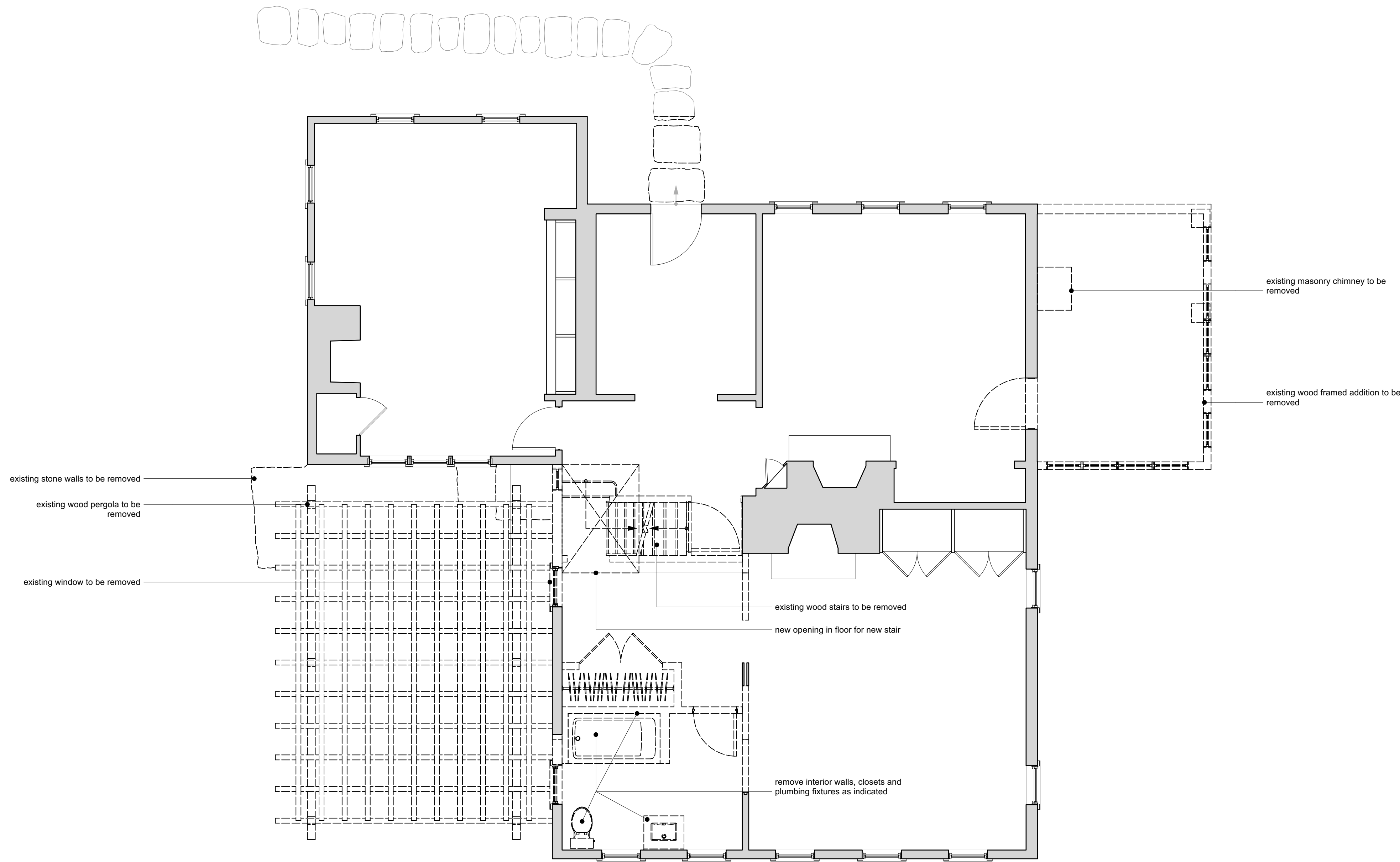
**DEMOLITION PLAN - LOWER LEVEL**



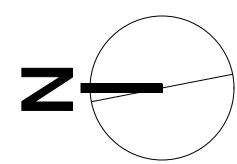
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1 DEMOLITION PLAN - FIRST FLOOR  
Scale: 1/4" = 1'-0"



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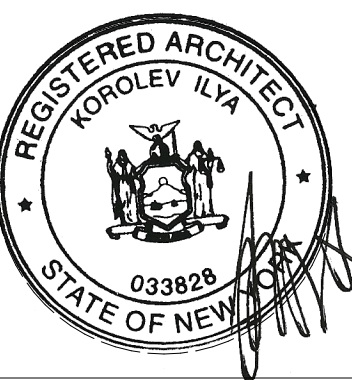
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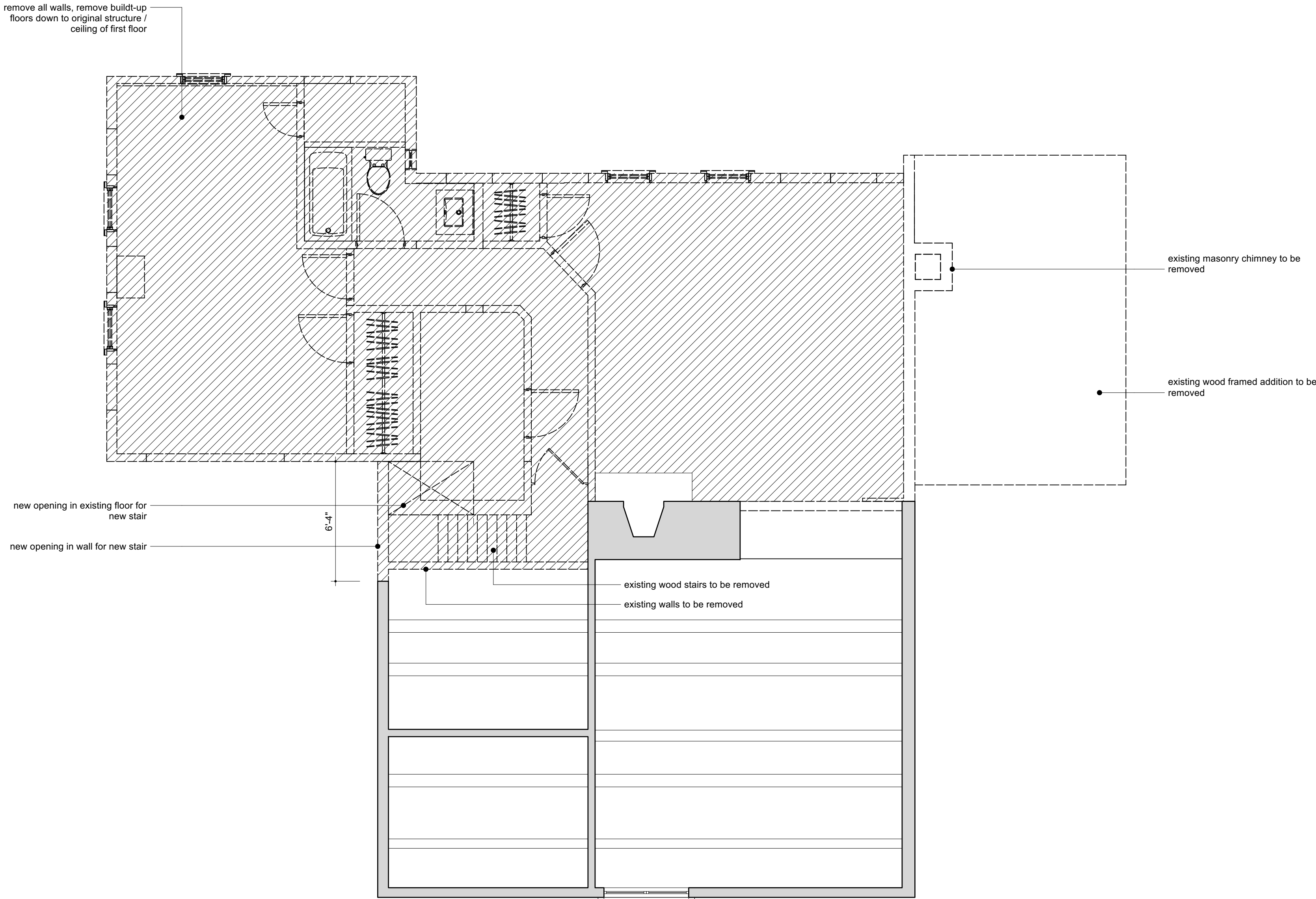
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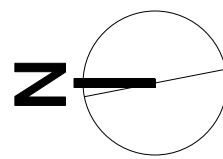


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1 DEMOLITION PLAN - SECOND FLOOR  
Scale: 1/4" = 1'-0"



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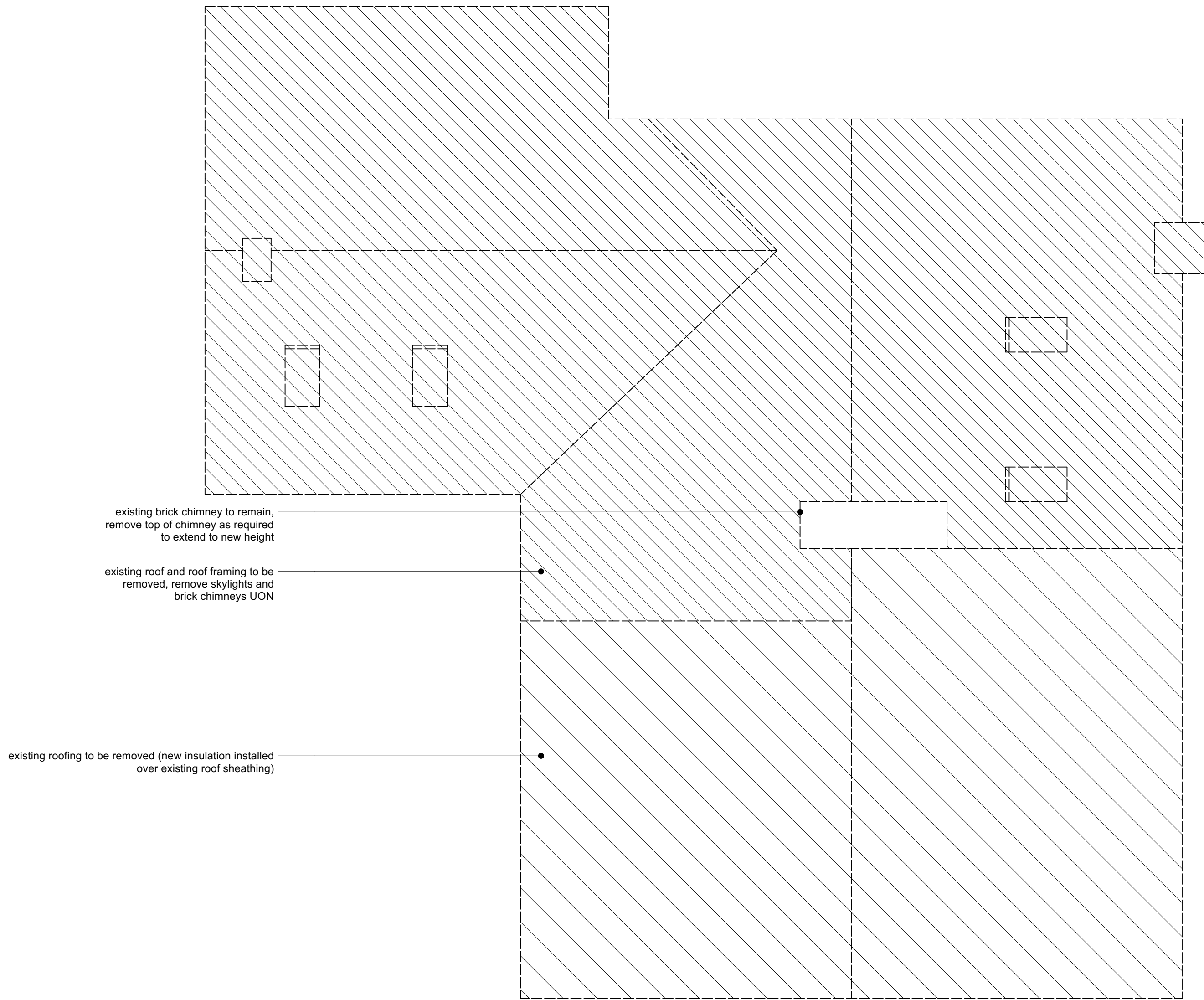
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DEMOLITION PLAN - SECOND FLOOR



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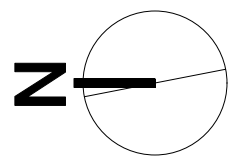


existing brick chimney to remain,  
remove top of chimney as required  
to extend to new height

existing roof and roof framing to be  
removed, remove skylights and  
brick chimneys UCN

existing roofing to be removed (new insulation installed  
over existing roof sheathing)

1 DEMOLITION PLAN - ROOF  
Scale: 1/4" = 1'-0"



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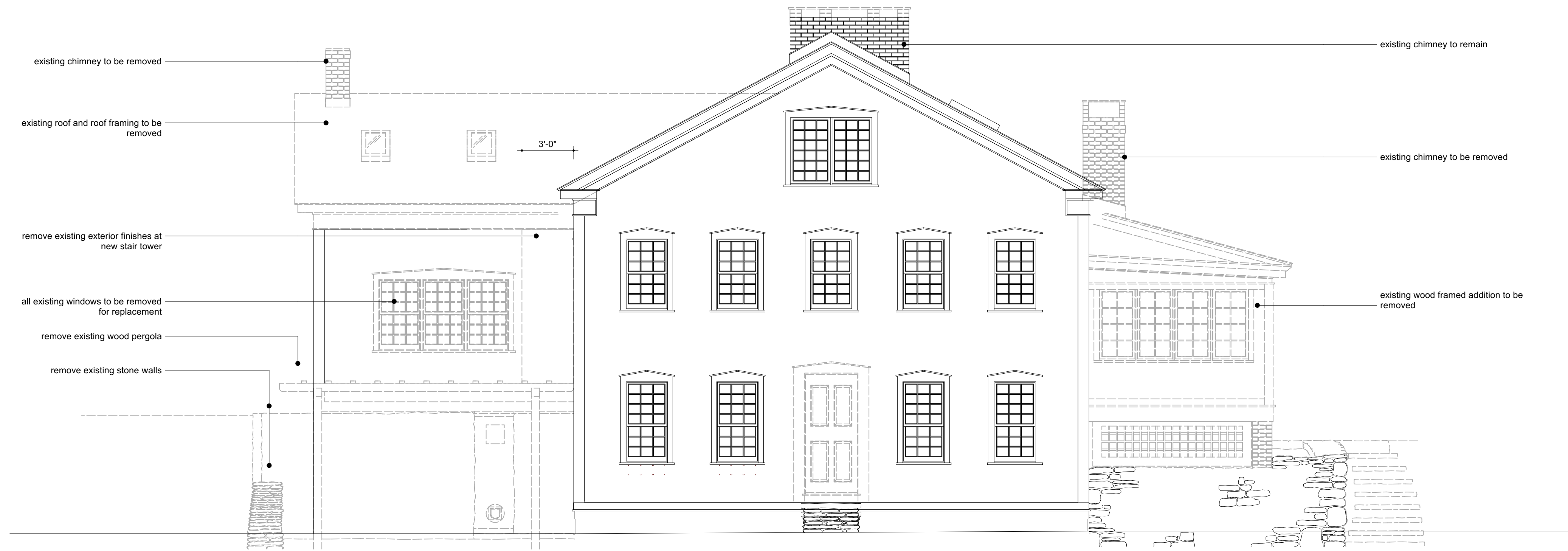
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DEMOLITION PLAN -  
ROOF



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10/17/2022

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1 DEMOLITION EXTERIOR ELEVATION - WEST  
Scale: 1/4" = 1'-0"

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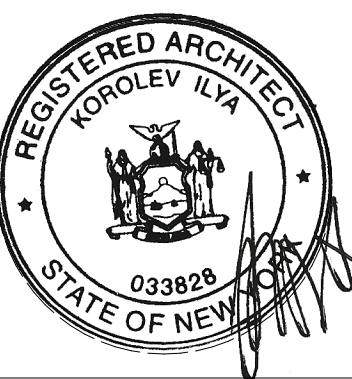
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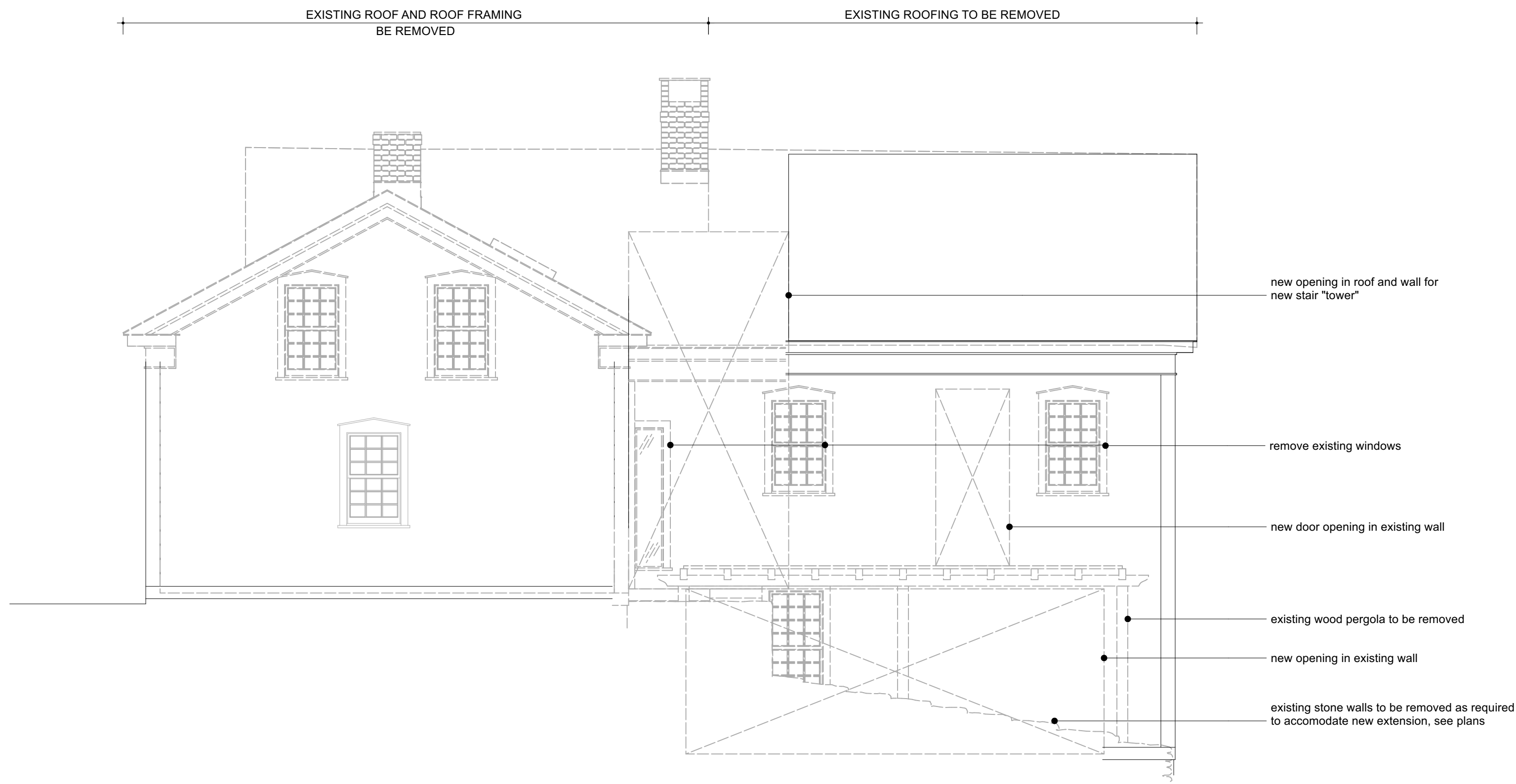
**DEMOLITION EXTERIOR ELEVATION - WEST**



ISSUE DATE:  
10/17/2022

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1 DEMOLITION EXTERIOR ELEVATION - NORTH  
Scale: 1/4" = 1'-0"

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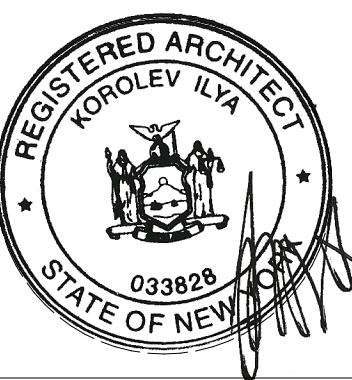
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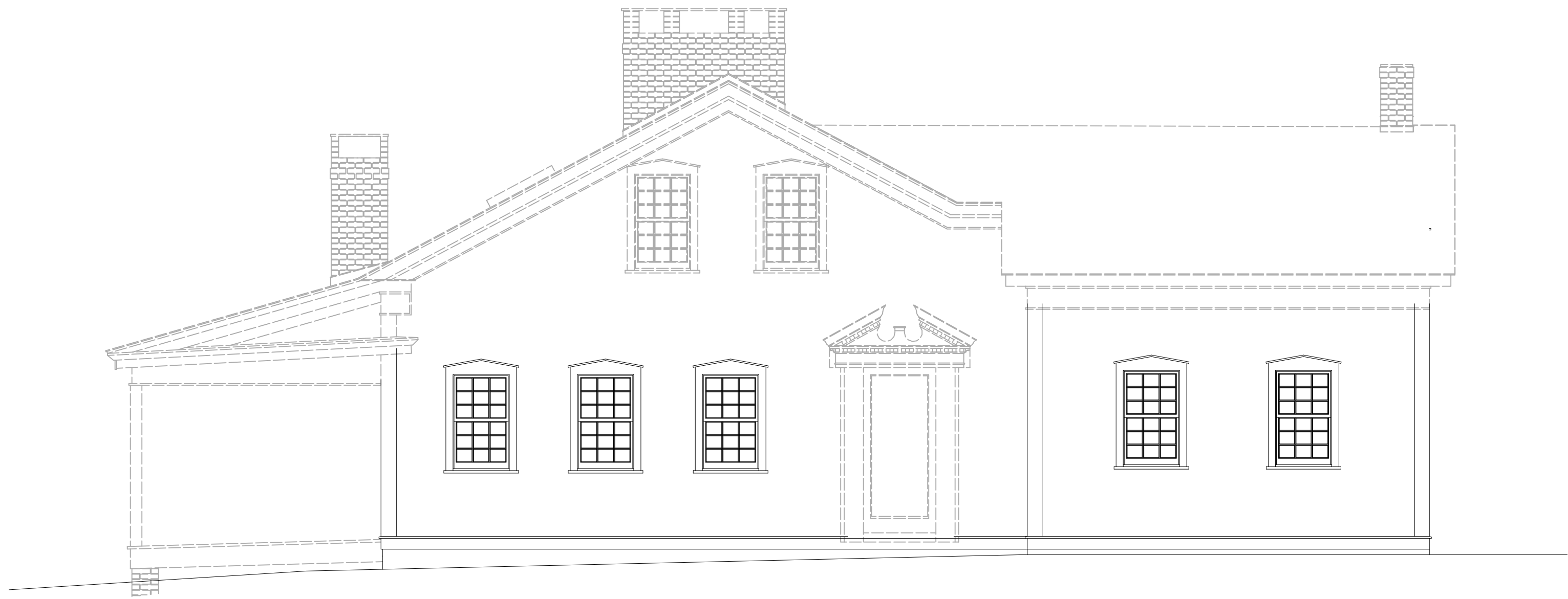
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**DEMOLITION EXTERIOR ELEVATION - NORTH**



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10/17/2022

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1 DEMOLITION EXTERIOR ELEVATION - EAST  
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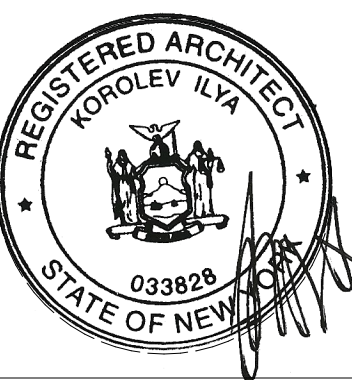
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DRAWING TITLE:

EXTERIOR ELEVATION  
- EAST



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2 DEMOLITION EXTERIOR ELEVATION - SOUTH  
Scale: 1/4" = 1'-0"

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- SOUTH



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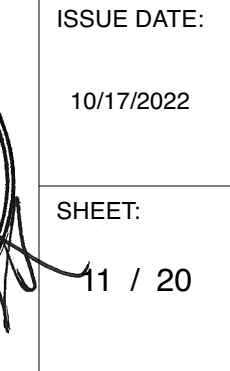
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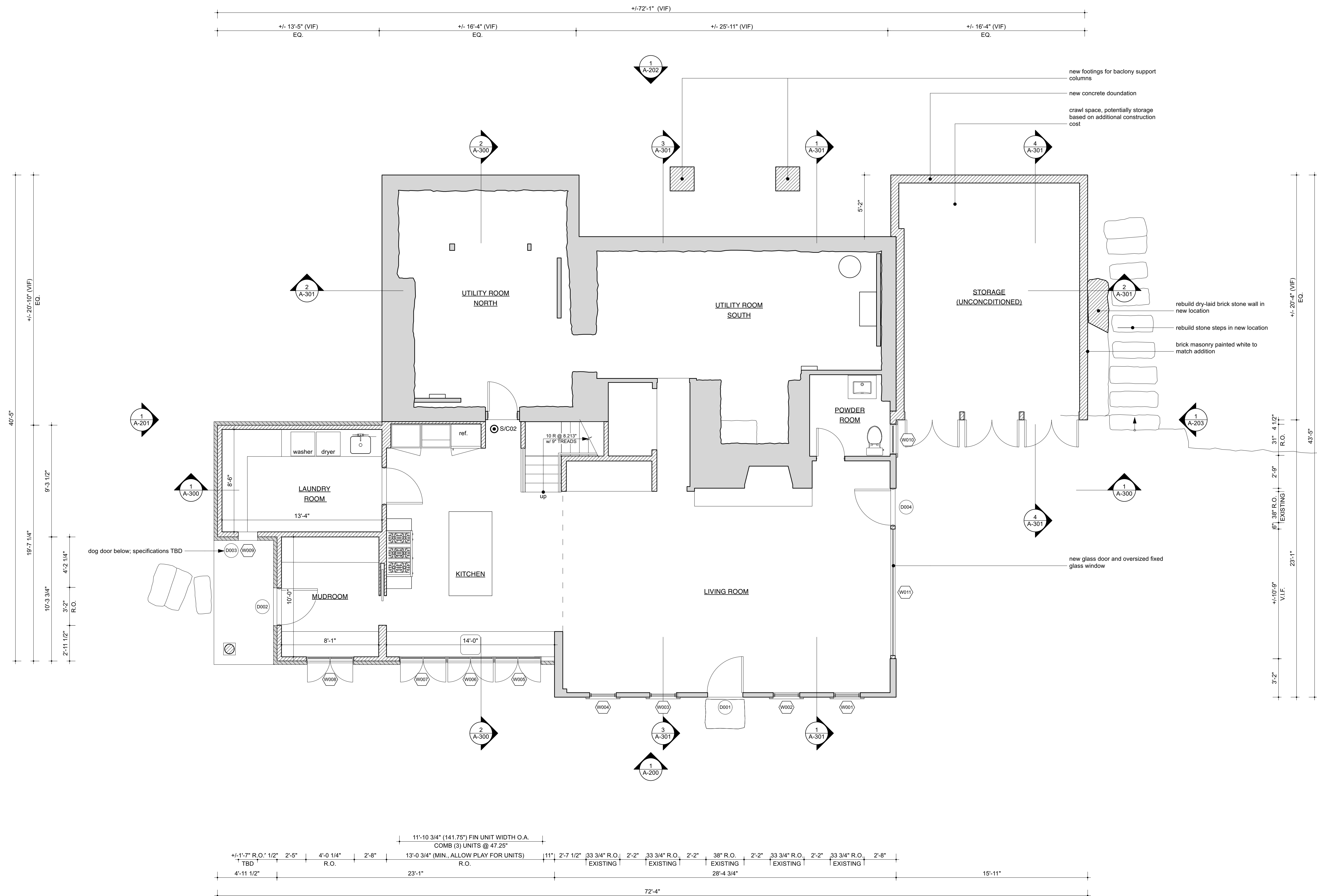
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No.	Date	Description

**WHITE ROCK FARM - MAIN  
HOUSE RENOVATION AND  
ADDITION**  
43 Butts Hollow Road, Dover Plains, NY

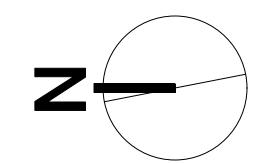
## CONSTRUCTION PLAN - LOWER LEVEL

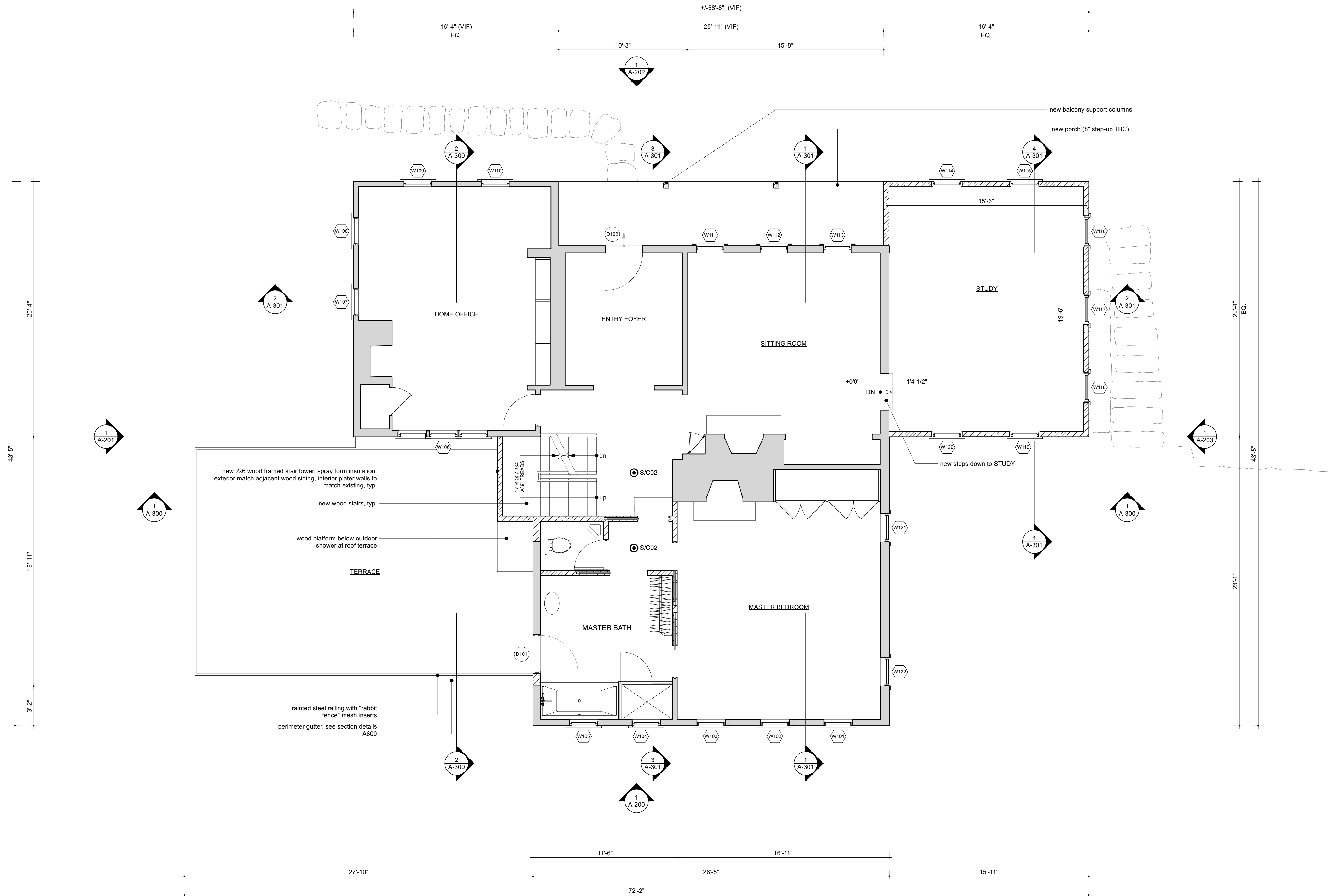


A-100

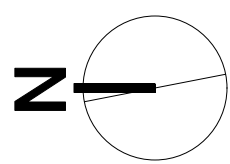


1 CONSTRUCTION PLAN - LOWER LEVEL  
Scale: 1/4" = 1'-0"





1 CONSTRUCTION PLAN - FIRST FLOOR  
Scale: 1/4"=1'-0"



ARCHITECT:  
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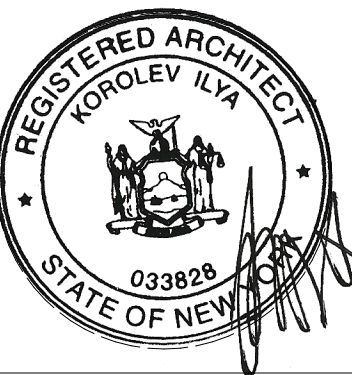
MECHANICAL ENGINEER:  
WELLS ENGINEERING PLLC  
31 WEST 34TH STREET, SUITE#8152  
NEW YORK, NY, 10001  
646-757-4862  
tyrone@wellsdesignandconsulting.com

LEGEND:  
new combination smoke and carbon monoxide detector  
S/C02

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OWNER / PROJECT INFORMATION:  
  
WHITE ROCK FARM - MAIN HOUSE RENOVATION AND ADDITION  
43 Butts Hollow Road, Dover Plains, NY

DRAWING TITLE:  
CONSTRUCTION PLAN - FIRST FLOOR




ISSUE DATE:  
10/17/2022

SHEET:  
12 / 20



**LEGEND:**

new combination smoke and carbon monoxide detector

 S/C02

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**WHITE ROCK FARM - MAIN  
HOUSE RENOVATION AND  
ADDITION**

3 Butts Hollow Road, Dover Plains, NY

DRAWING TITLE:

CONSTRUCTION PLAN  
- SECOND FLOOR



SUE DATE:

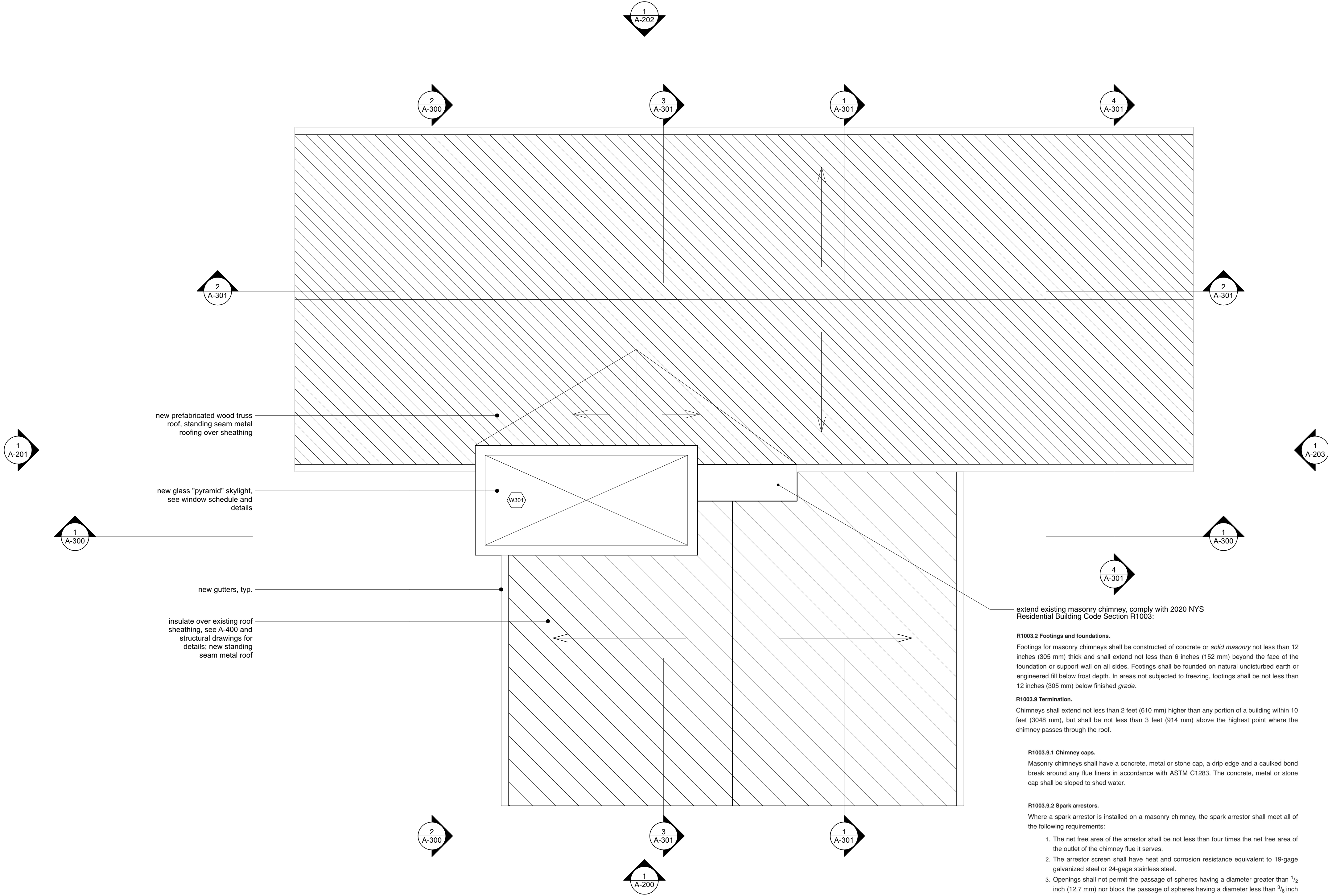
0/17/2022

SHEET:

13 / 20

A-102





extend existing masonry chimney, comply with 2020 NYS Residential Building Code Section R1003:

**R1003.2 Footings and foundations.**  
Footings for masonry chimneys shall be constructed of concrete or *solid masonry* not less than 12 inches (305 mm) thick and shall extend not less than 6 inches (152 mm) beyond the face of the foundation or support wall on all sides. Footings shall be founded on natural undisturbed earth or engineered fill below frost depth. In areas not subjected to freezing, footings shall be not less than 12 inches (305 mm) below finished grade.

**R1003.9 Termination.**  
Chimneys shall extend not less than 2 feet (610 mm) higher than any portion of a building within 10 feet (3048 mm), but shall be not less than 3 feet (914 mm) above the highest point where the chimney passes through the roof.

**R1003.9.1 Chimney caps.**  
Masonry chimneys shall have a concrete, metal or stone cap, a drip edge and a caulked bond break around any flue liners in accordance with ASTM C1283. The concrete, metal or stone cap shall be sloped to shed water.

**R1003.9.2 Spark arrestors.**  
Where a spark arrestor is installed on a masonry chimney, the spark arrestor shall meet all of the following requirements:

1. The net free area of the arrestor shall be not less than four times the net free area of the outlet of the chimney flue it serves.
2. The arrestor screen shall have heat and corrosion resistance equivalent to 19-gage galvanized steel or 24-gage stainless steel.
3. Openings shall not permit the passage of spheres having a diameter greater than 1/2 inch (12.7 mm) nor block the passage of spheres having a diameter less than 3/8 inch (9.5 mm).
4. The spark arrestor shall be located with access for cleaning and the screen or chimney cap shall be removable to allow for cleaning of the chimney flue.

**R1003.10 Wall thickness.**  
Masonry chimney walls shall be constructed of *solid masonry* units or hollow masonry units grouted solid with not less than a 4-inch (102 mm) nominal thickness.

**R1003.13 Multiple flues.**  
Where two or more flues are located in the same chimney, masonry wythes shall be built between adjacent flue linings. The masonry wythes shall be not less than 4 inches (102 mm) thick and bonded into the walls of the chimney.

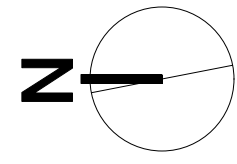
**R1003.16 Inlet.**  
Inlets to masonry chimneys shall enter from the side. Inlets shall have a thimble of fireclay, rigid refractory material or metal that will prevent the connector from pulling out of the inlet or from extending beyond the wall of the liner.

**R1003.17 Masonry chimney cleanout openings.**  
Cleanout openings shall be provided within 6 inches (152 mm) of the base of each flue within every masonry chimney. The upper edge of the cleanout shall be located not less than 6 inches (152 mm) below the lowest chimney inlet opening. The height of the opening shall be not less than 6 inches (152 mm). The cleanout shall be provided with a noncombustible cover.

**Exception:** Chimney flues serving masonry fireplaces where cleaning is possible through the fireplace opening.

**R1003.18 Chimney clearances.**  
Any portion of a masonry chimney located in the interior of the building or within the exterior wall of the building shall have a minimum airspace clearance to combustibles of 2 inches (51 mm). Chimneys located entirely outside the exterior walls of the building, including chimneys that pass through the soffit or cornice, shall have a minimum airspace clearance of 1 inch (25 mm). The airspace shall not be filled, except to provide fire blocking in accordance with Section R1003.19.

1 CONSTRUCTION PLAN - ROOF PLAN  
Scale: 1/4" = 1'-0"



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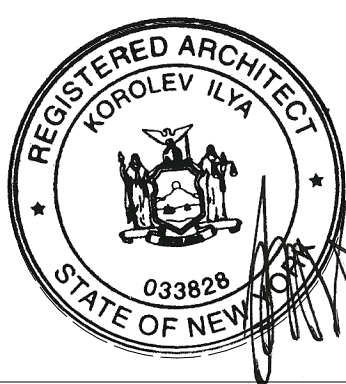
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**WHITE ROCK FARM - MAIN HOUSE RENOVATION AND ADDITION**  
43 Butts Hollow Road, Dover Plains, NY

DRAWING TITLE:

**CONSTRUCTION PLAN - ROOF**



ISSUE DATE:  
10/17/2022

SHEET:  
14 / 20

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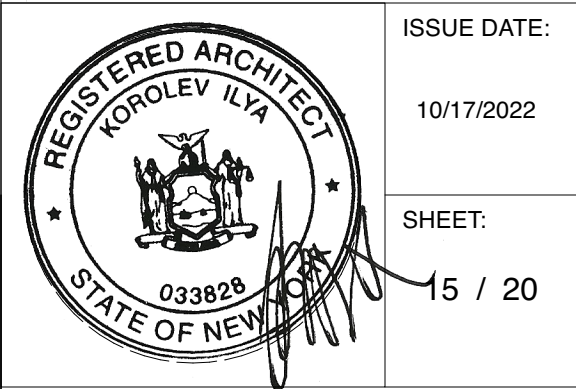
OWNER / PROJECT INFORMATION:

**WHITE ROCK FARM - MAIN  
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ADDITION**

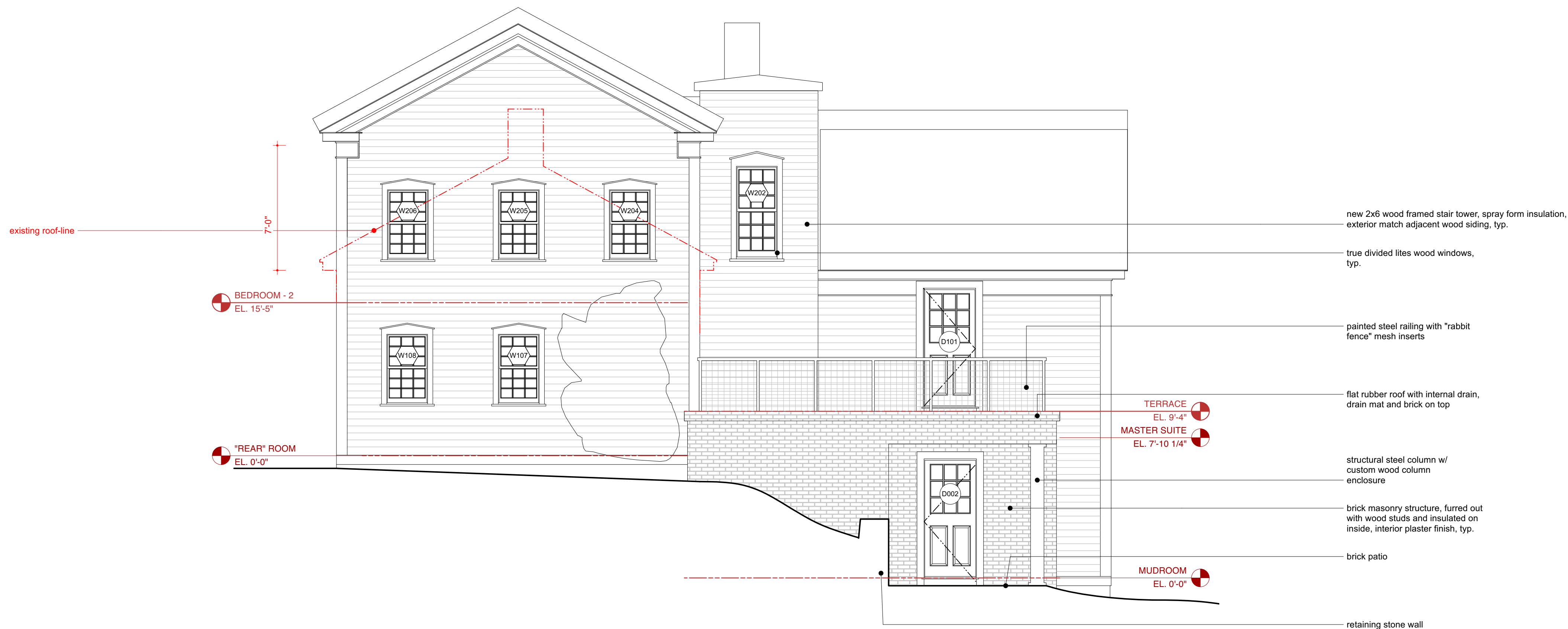
43 Butts Hollow Road, Dover Plains, NY

DRAWING TITLE:

EXTERIOR ELEVATION  
- WEST







1 EXTERIOR ELEVATION - NORTH  
Scale: 1/4" = 1'-0"

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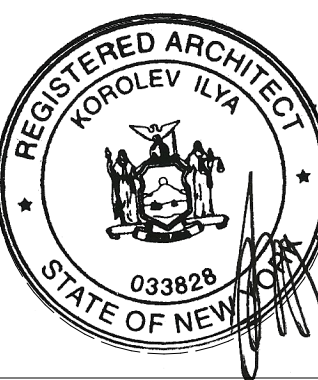
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HOUSE RENOVATION AND  
ADDITION  
43 Butts Hollow Road, Dover Plains, NY

DRAWING TITLE:  
EXTERIOR ELEVATION  
- NORTH



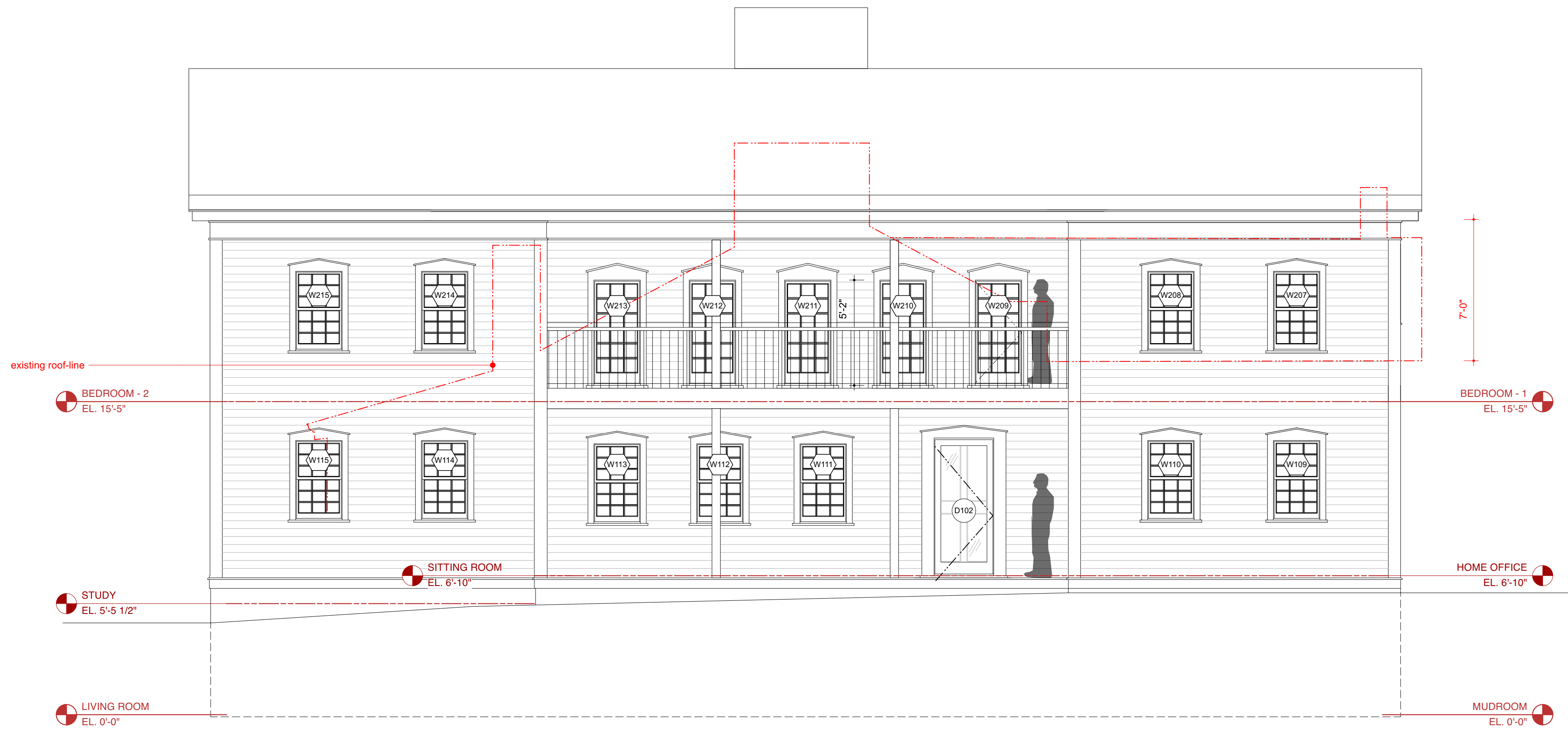
ISSUE DATE:

10/17/2022

SHEET:

16 / 20





1 EXTERIOR ELEVATION - EAST  
Scale: 1/4" = 1'-0"

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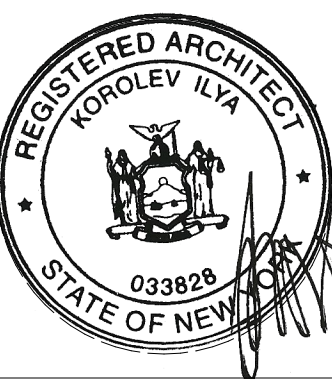
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43 Butts Hollow Road, Dover Plains, NY

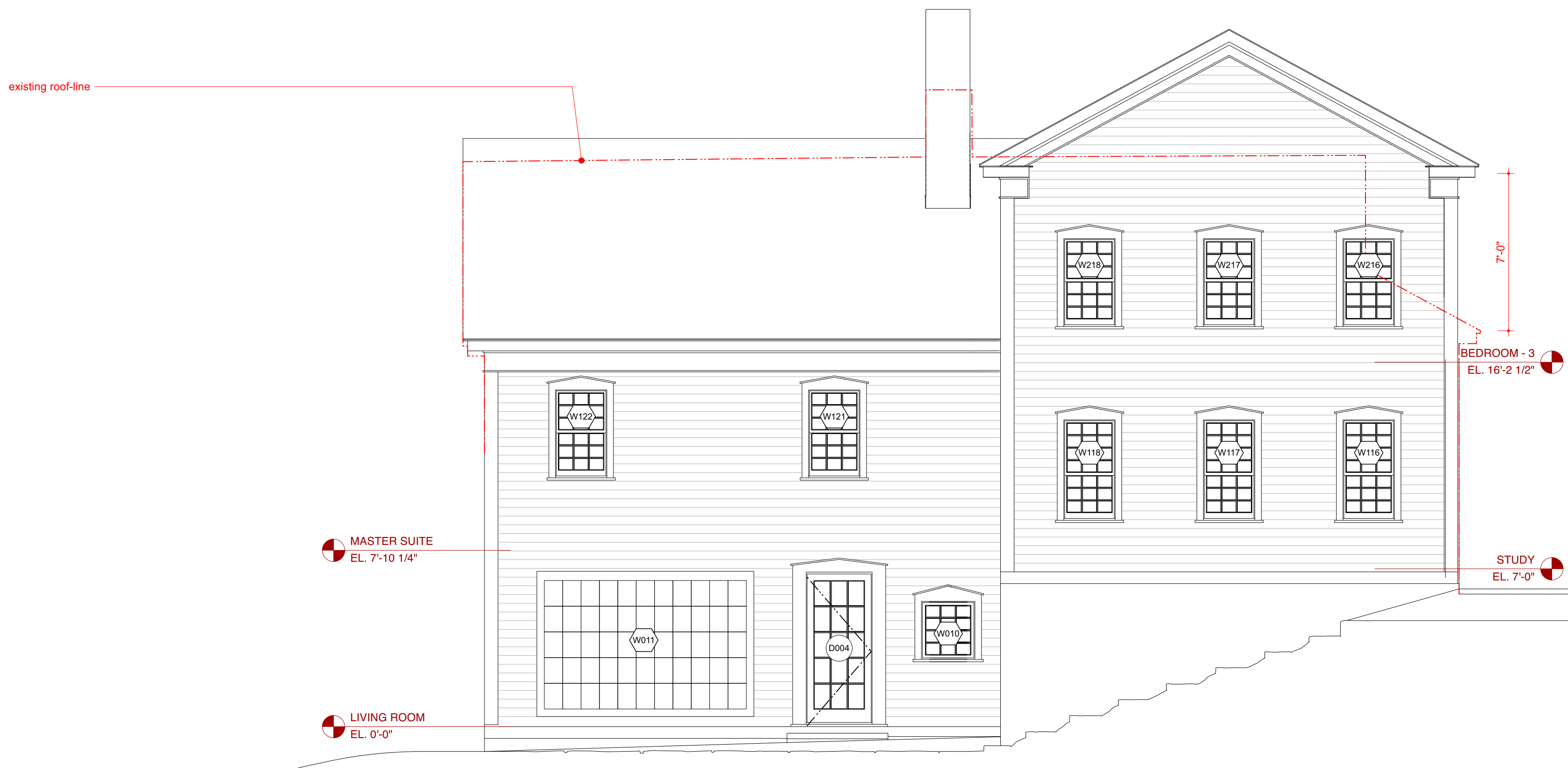
DRAWING TITLE:

**EXTERIOR ELEVATION - EAST**



ISSUE DATE:  
10/17/2022

SHEET:  
17 / 20



1 EXTERIOR ELEVATION - SOUTH  
Scale: 1/4" = 1'-0"

ARCHITECT:  
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OWNER / PROJECT INFORMATION:

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43 Butts Hollow Road, Dover Plains, NY

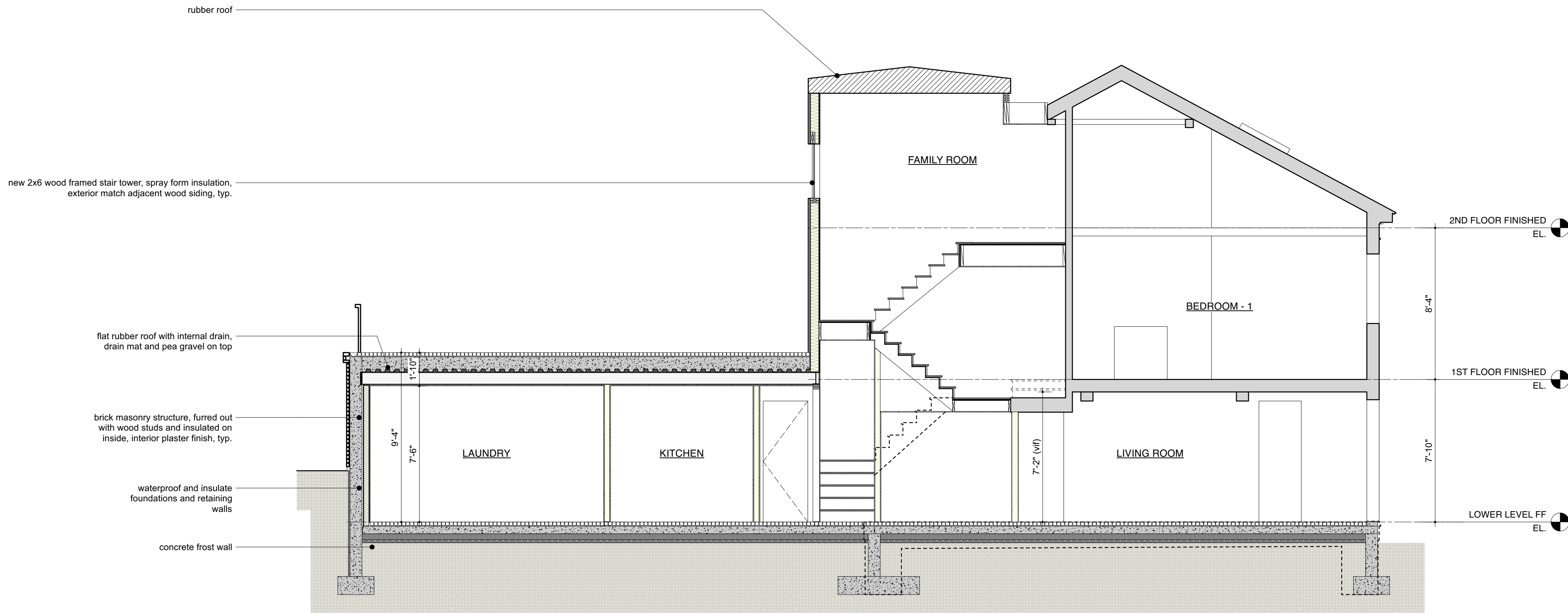
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EXTERIOR ELEVATION  
- SOUTH

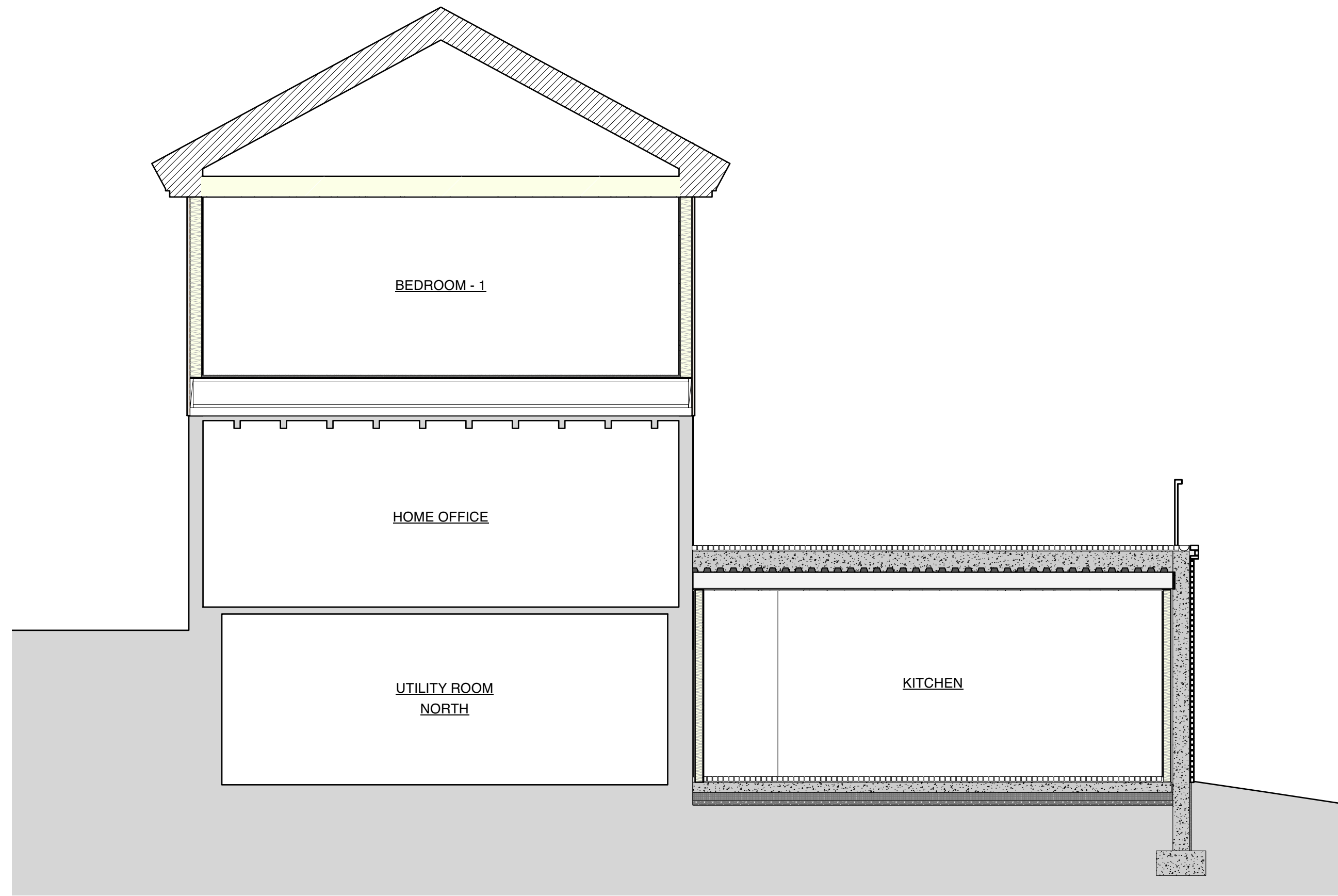


ISSUE DATE:  
10/17/2022

SHEET:  
18 / 20



1 LONG SECTION THROUGH ADDITION AND STAIR  
Scale: Actual Size



2 LONG SECTION THROUGH ADDITION AND STAIR  
Scale: Actual Size

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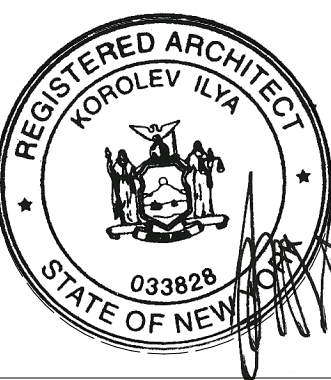
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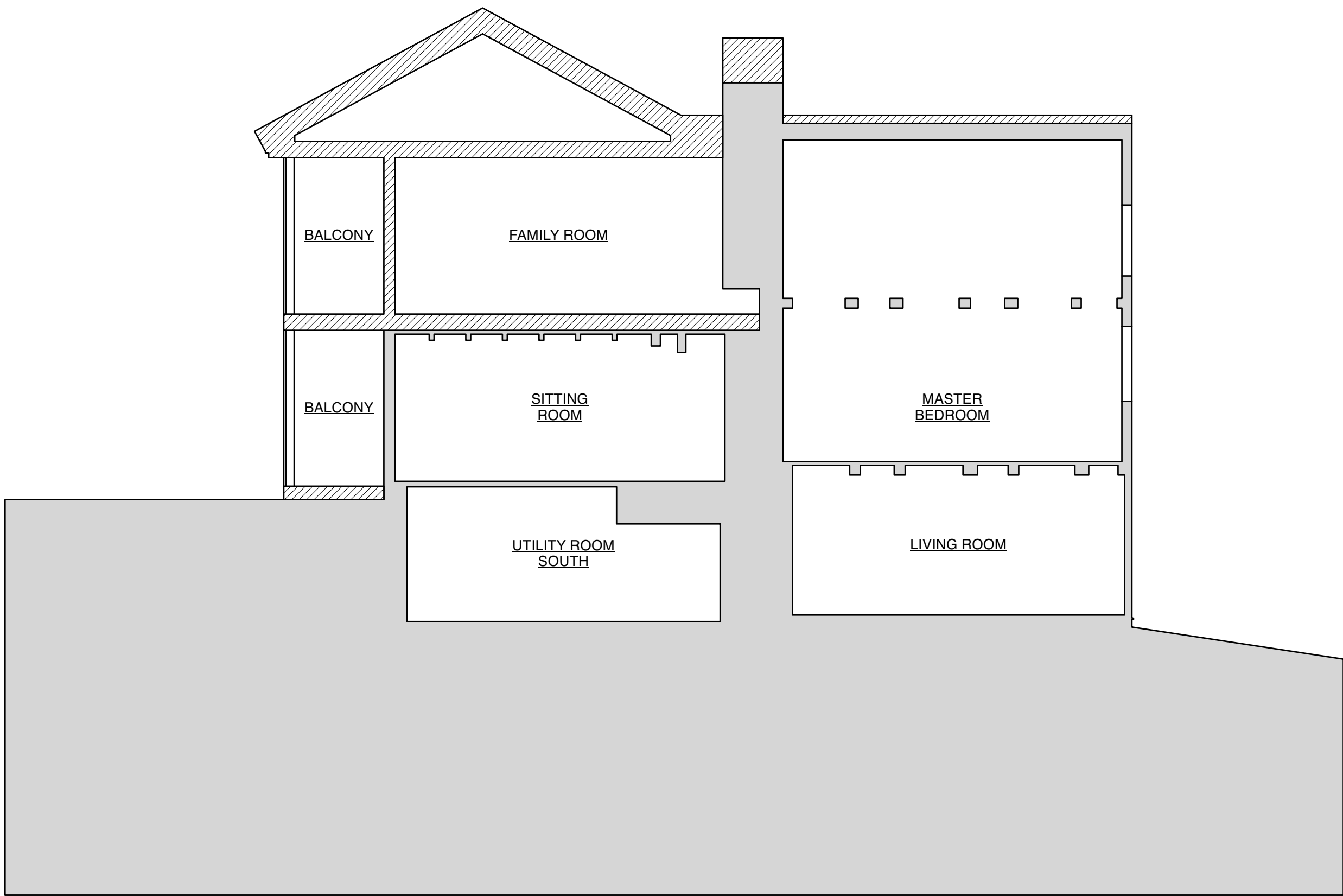
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**BUILDING SECTIONS**



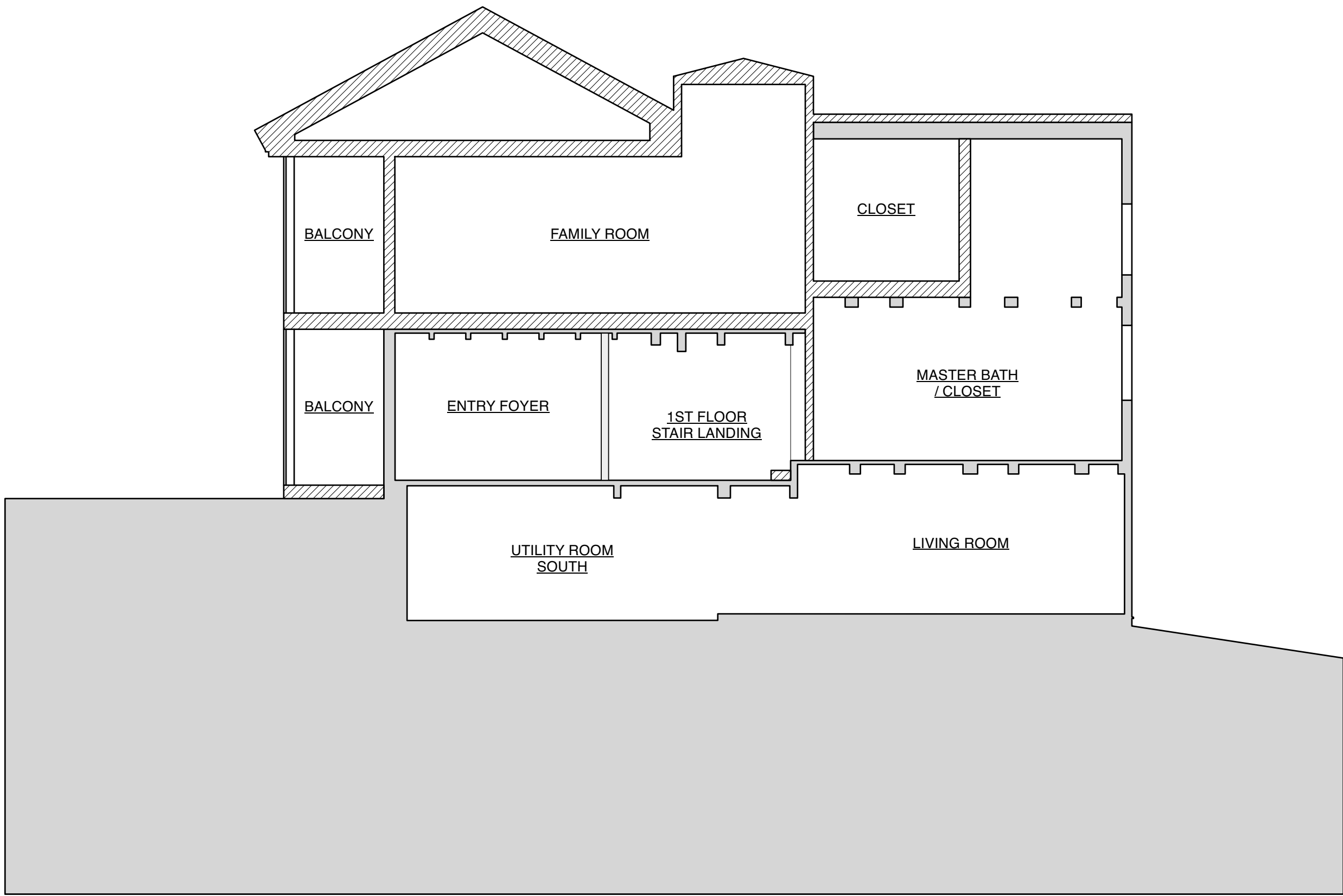
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SHEET:  
19 / 20

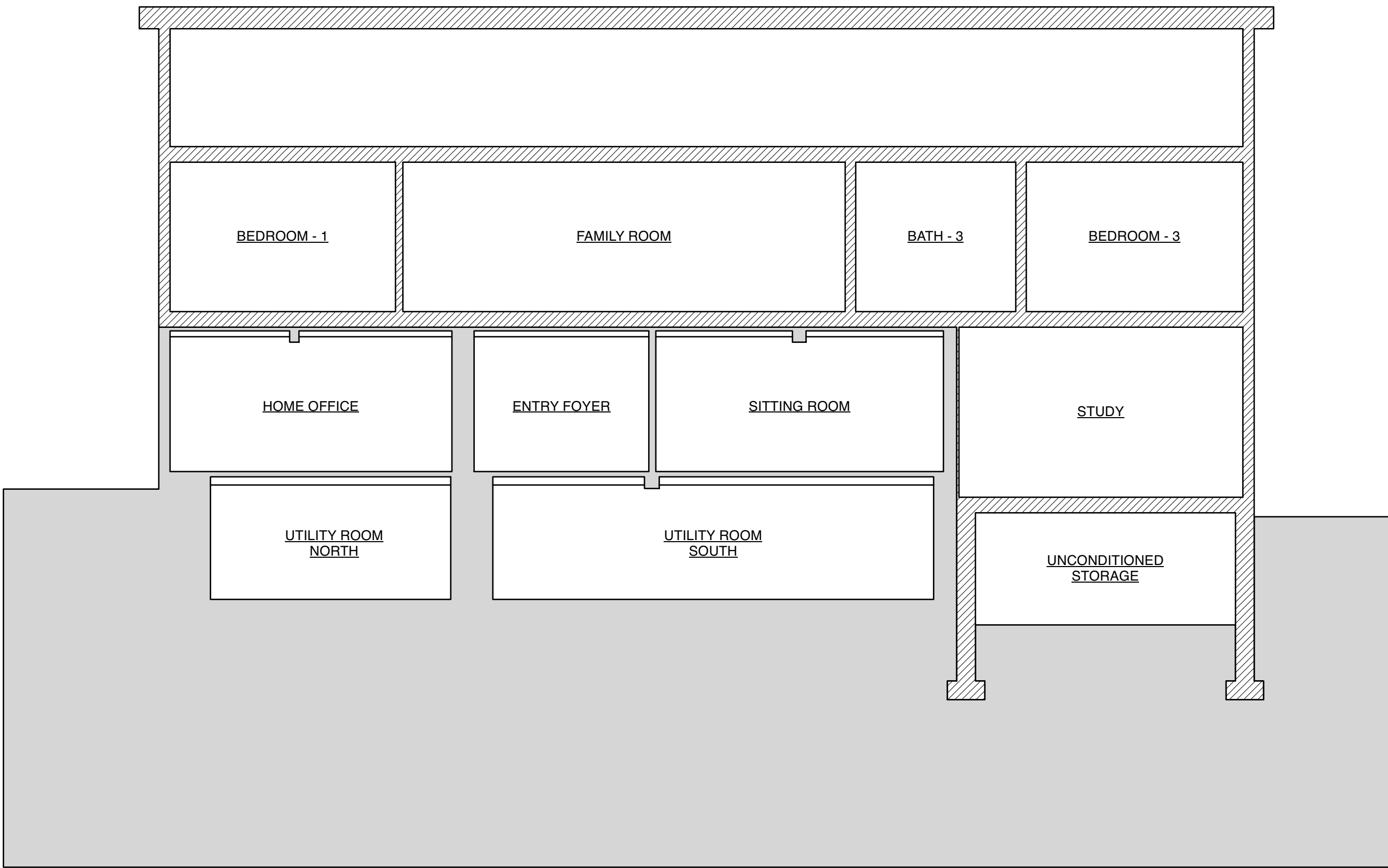




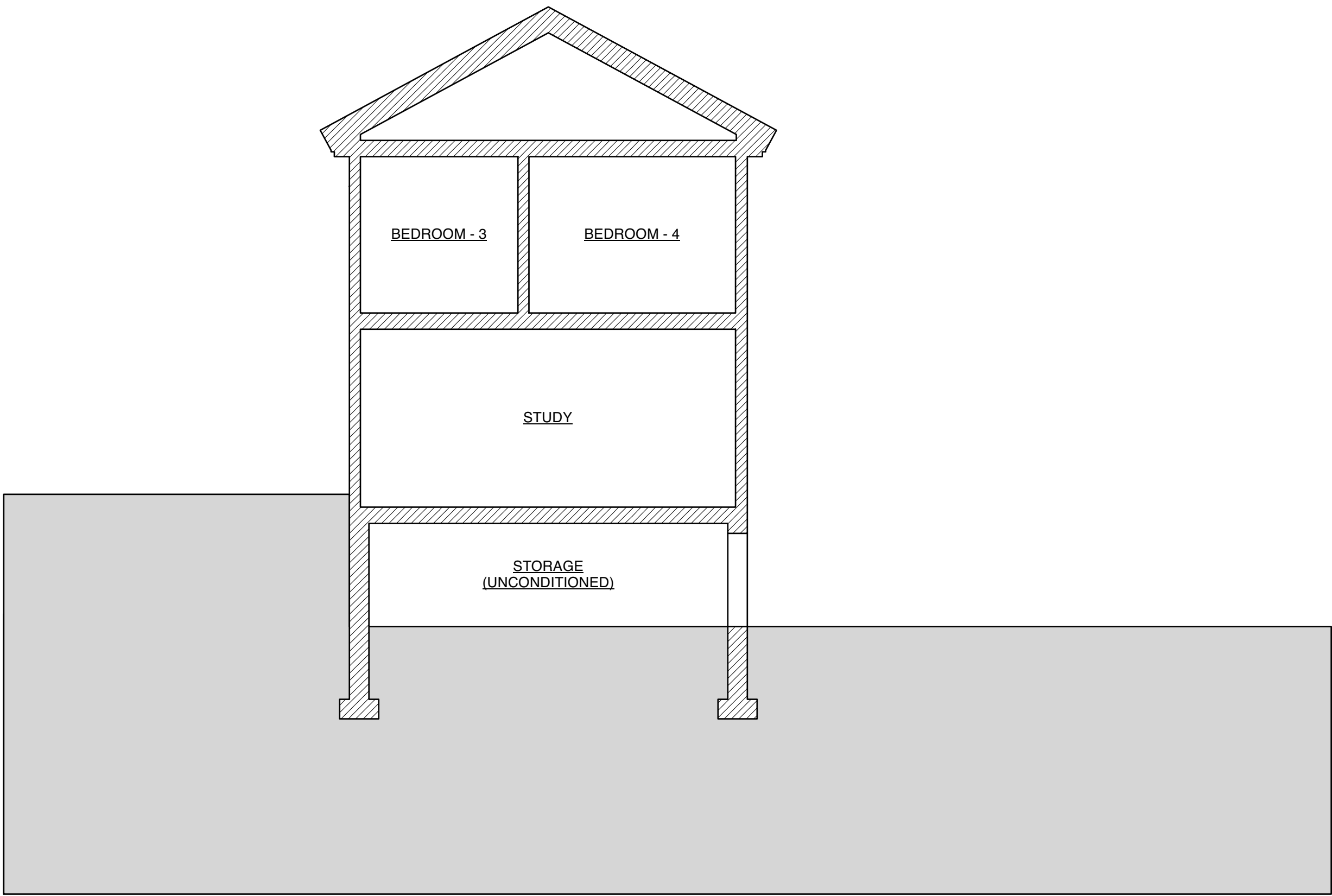
1 BUILDING SECTION  
Scale: 3/16" = 1'-0"



2 BUILDING SECTION  
Scale: 3/16" = 1'-0"



3 BUILDING SECTION  
Scale: 3/16" = 1'-0"



4 BUILDING SECTION  
Scale: 3/16" = 1'-0"

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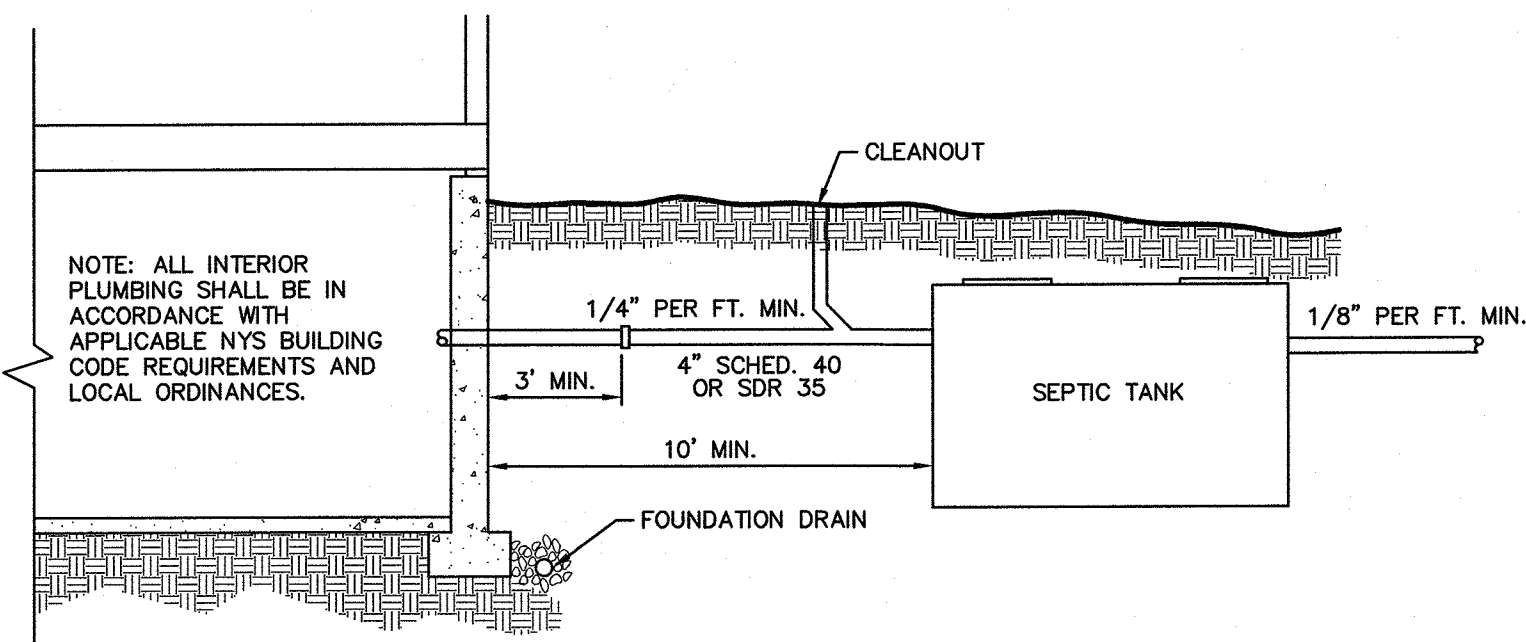


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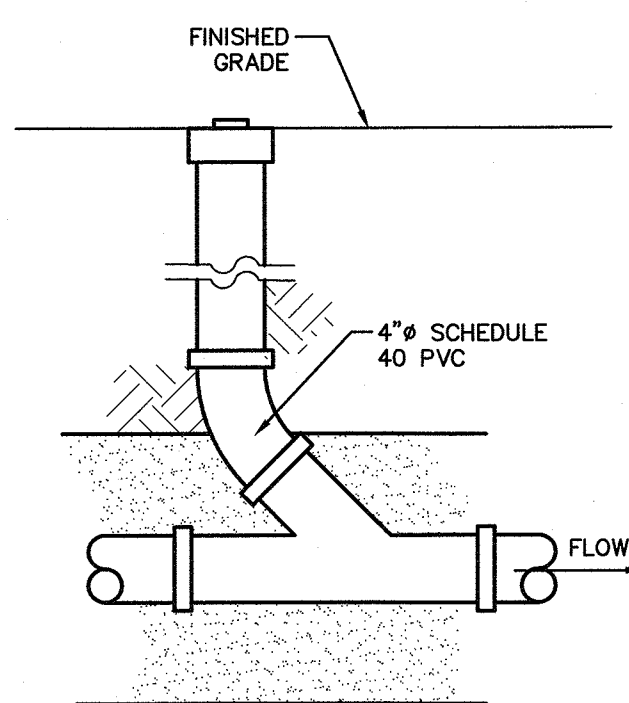
SHEET:  
20 / 20



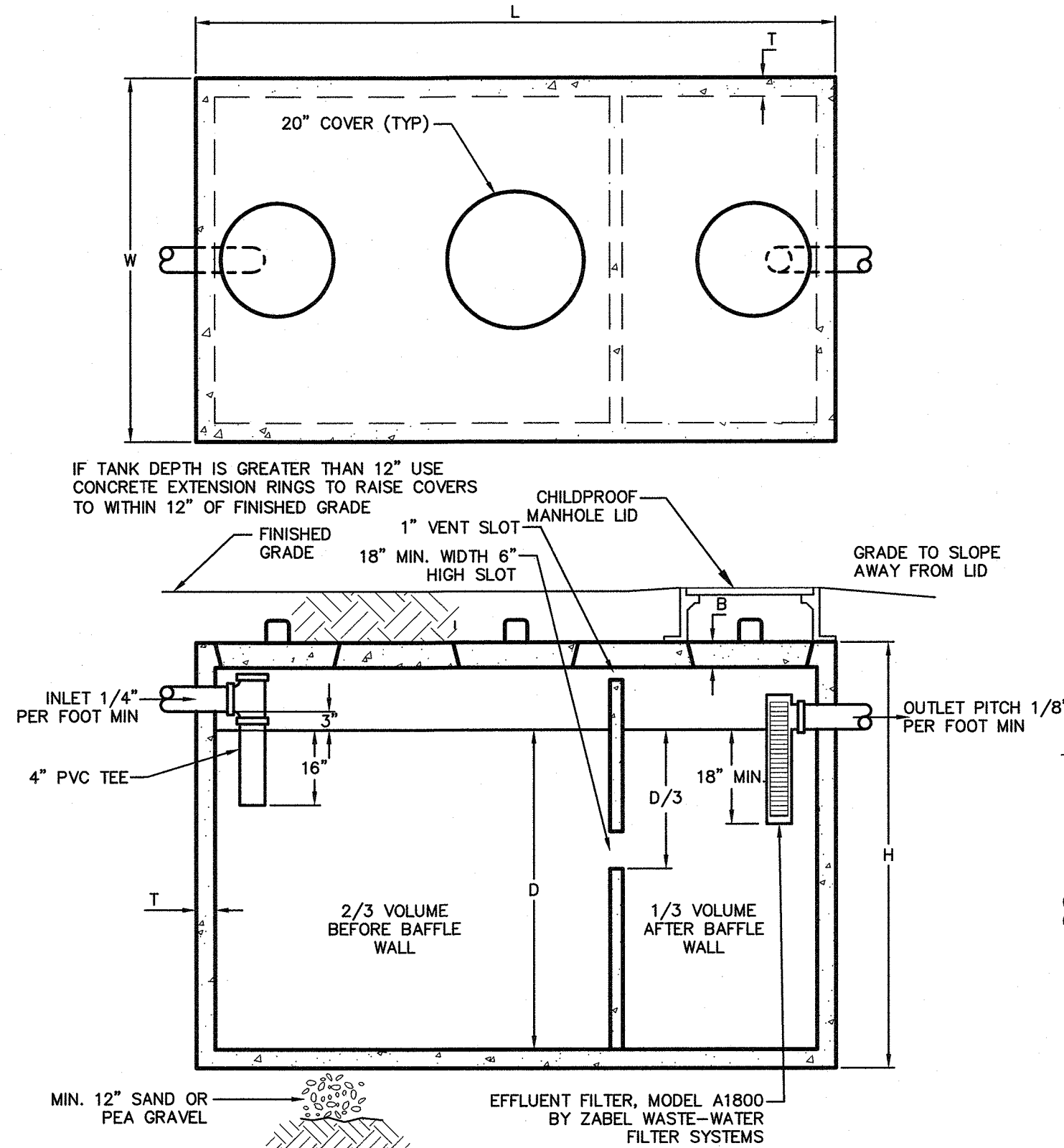




**1 HOUSE SEWER DETAIL**  
SCALE: N.T.S.



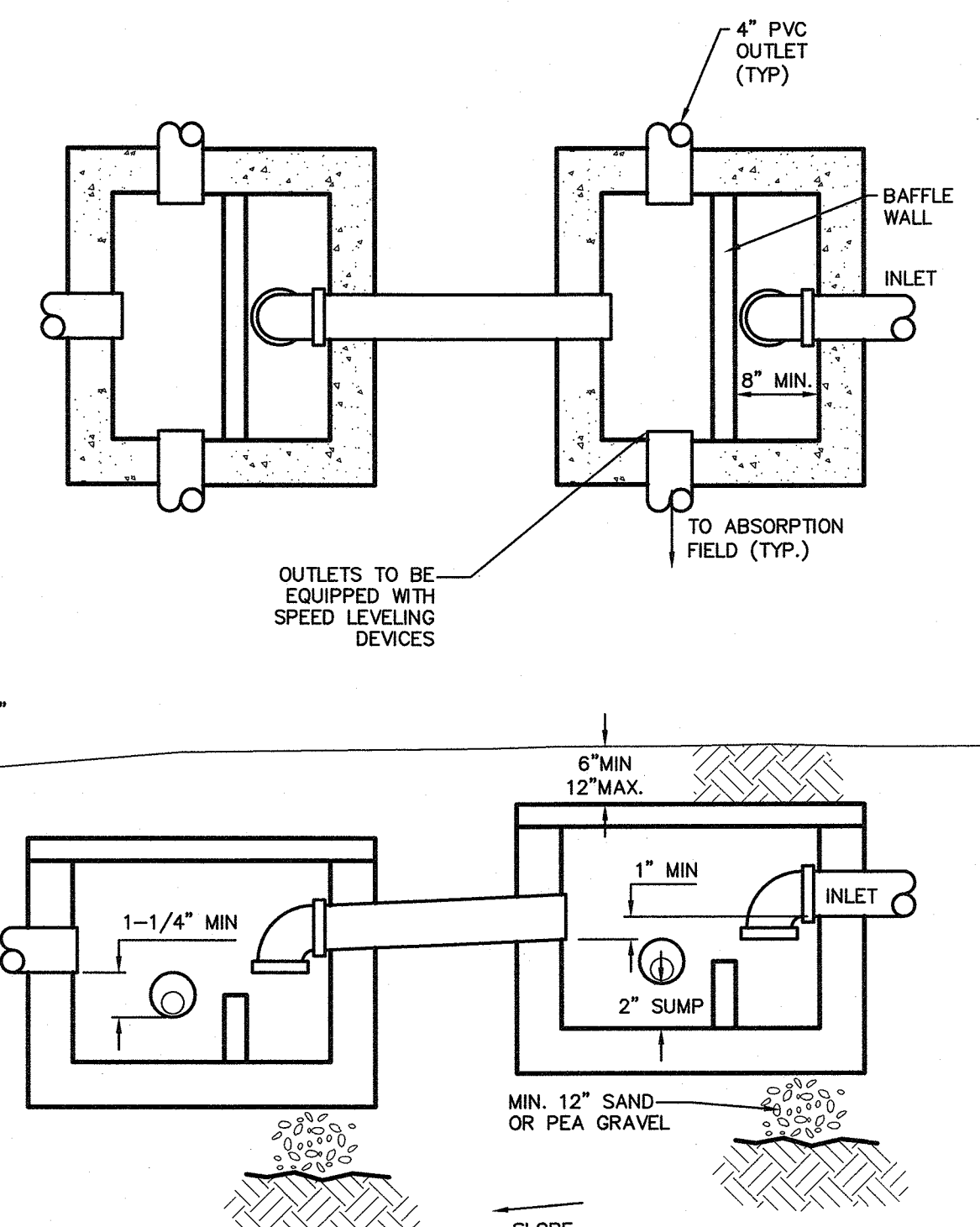
**2 CLEANOUT DETAIL**  
SCALE: N.T.S.



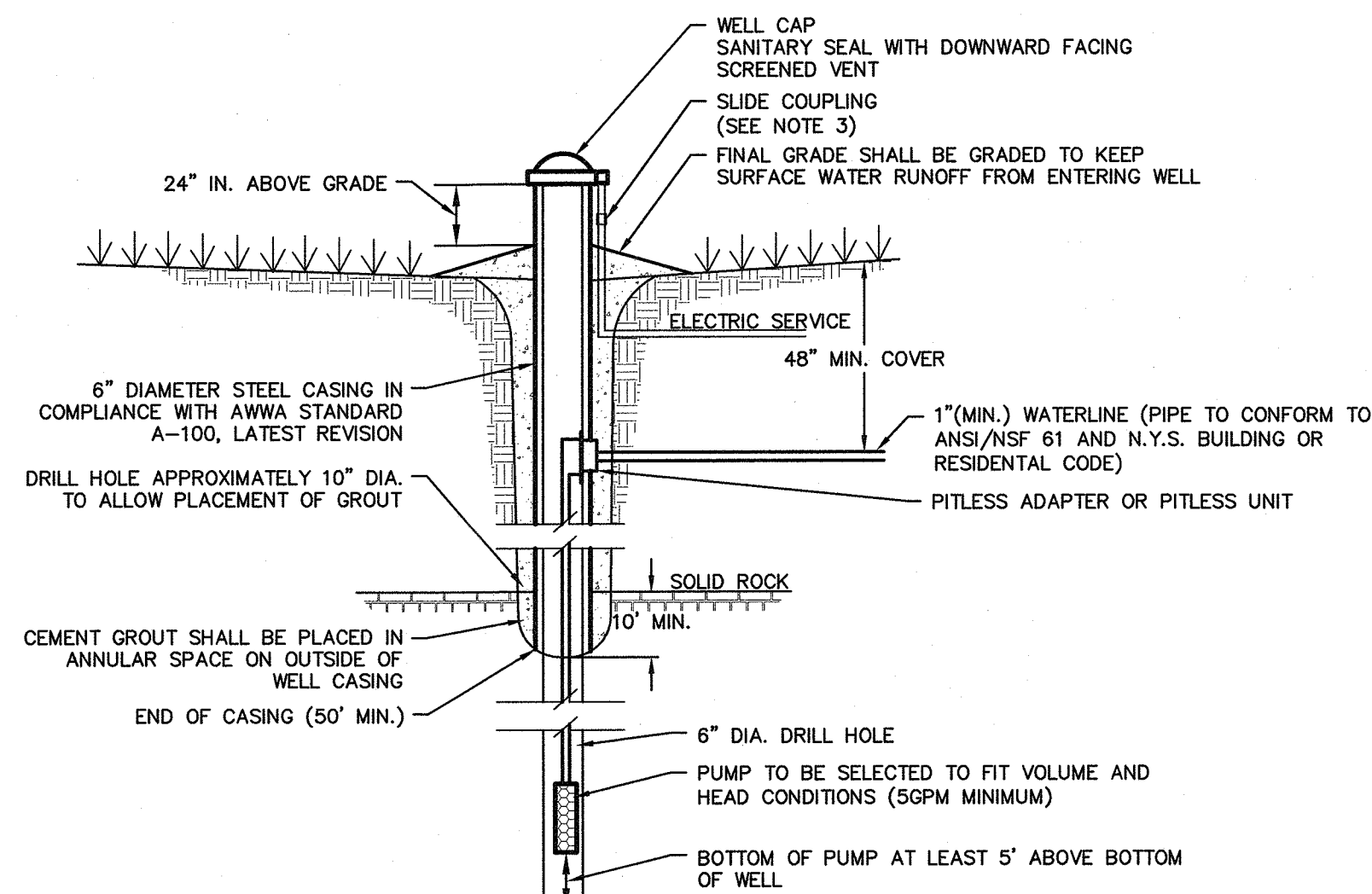
SIZE	L	W	H	D	T	B
1250 GAL	146.5"	67.5"	52"	37.5"	3"	4"

TANK SHALL BE S2C 1,250 GALLON KEELER VAULT CO. OR APPROVED EQUAL

**3 1,250 GALLON SEPTIC TANK DETAIL**  
SCALE: N.T.S.

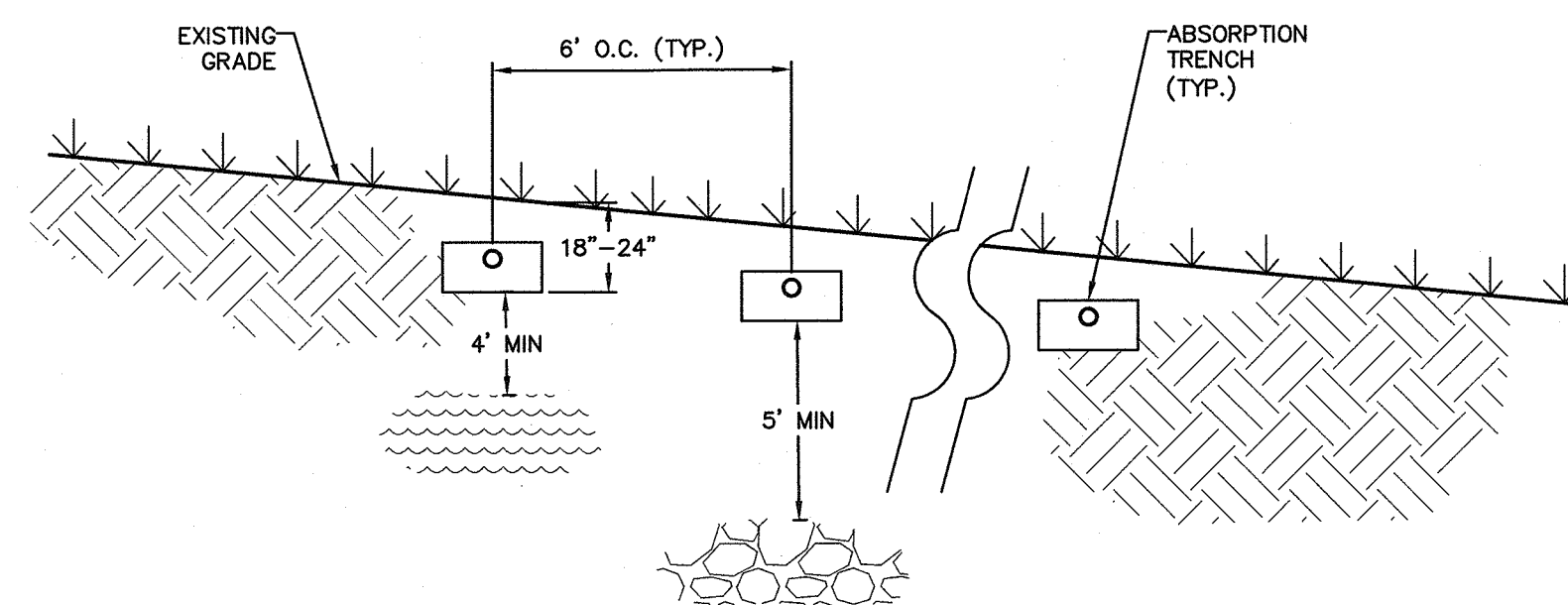


**4 DROP BOX DETAIL**  
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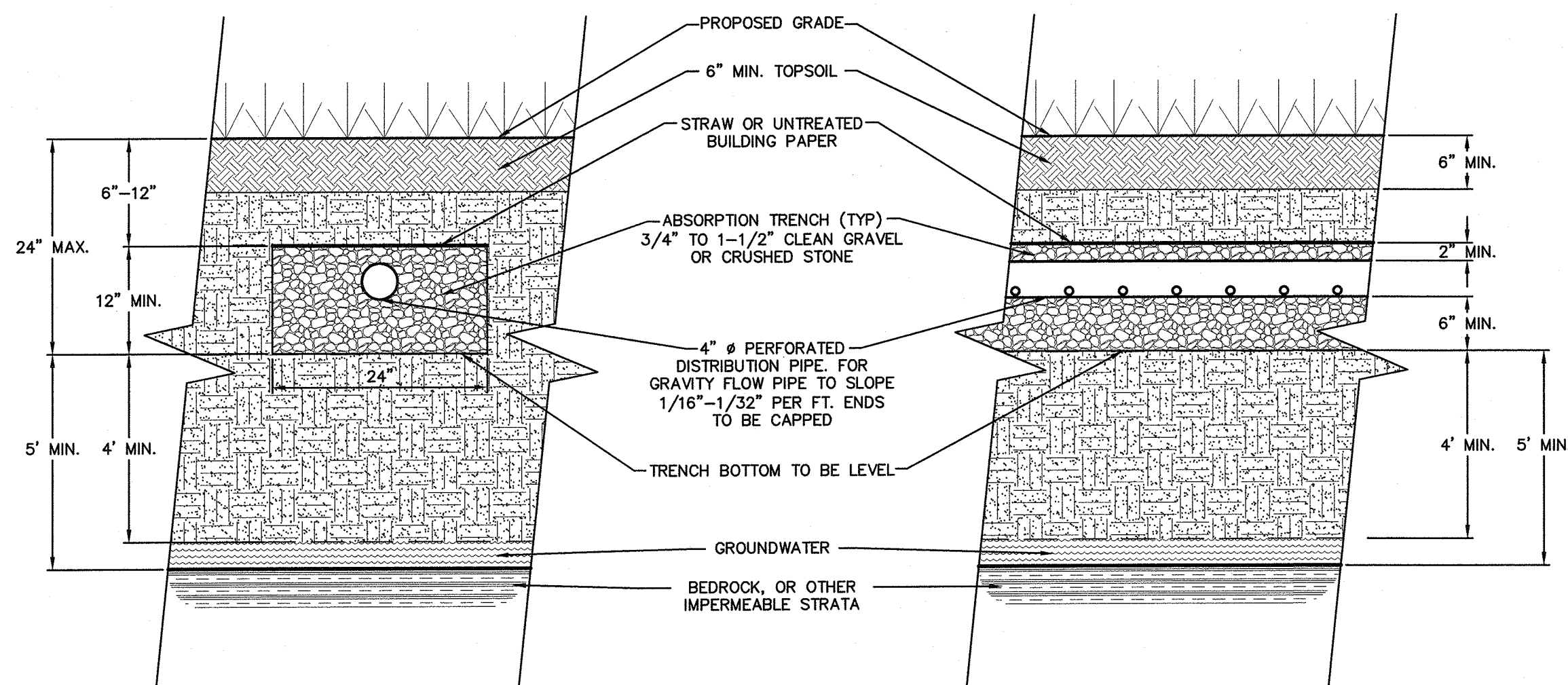


NOTES:  
1) WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH TABLE 2 OF THE N.Y.S. DEPARTMENT OF HEALTH APPENDIX 5-B 10NYCRR "STANDARDS FOR WATER WELLS."  
2) THE WELL CAP MUST BE A MINIMUM OF 2 FEET ABOVE THE 100 YEAR FLOOD ELEVATION.  
3) INSTALL A SLIDE COUPLING ON THE ELECTRICAL CONDUIT ABOVE GRADE TO ALLOW FOR SETTLING AND FREEZE THAW MOVEMENTS.

**5 WELL DETAIL**  
SCALE: N.T.S.

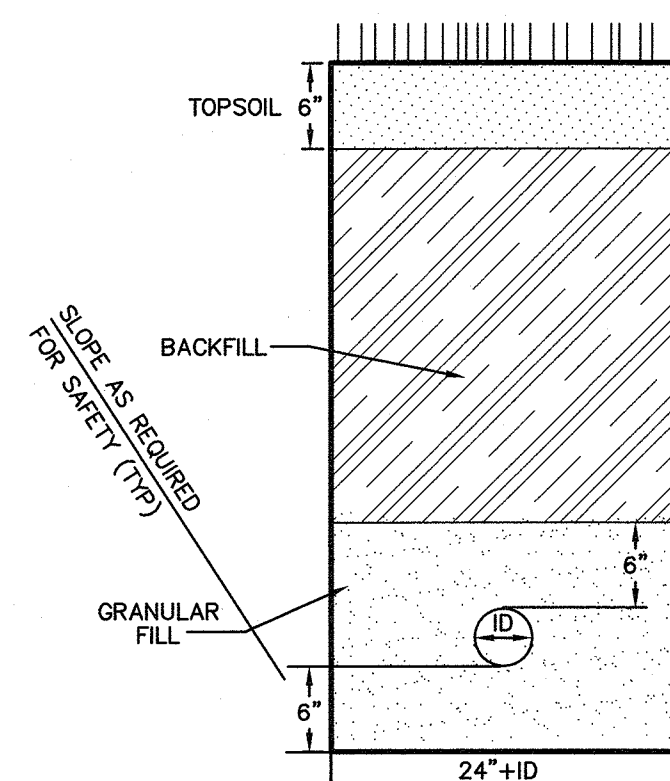


**6 IN-GROUND TRENCH SYSTEM SECTION**  
SCALE: N.T.S.



NOTE: THE AGGREGATE SHALL BE COVERED WITH PERMEABLE GEOTEXTILE, UNTREATED BUILDING PAPER, A FOUR INCH LAYER OF HAY, OR A FOUR INCH LAYER OF STRAW TO PREVENT SOIL FROM ENTERING THE AGGREGATE AFTER BACKFILLING AND TO PROVIDE FOR PASSAGE OF MOISTURE AND GASES.

**7 ABSORPTION TRENCH DETAIL**  
SCALE: N.T.S.



**8 PIPE BEDDING DETAILS (TYP)**  
SCALE: N.T.S.

NOT FOR CONSTRUCTION UNTIL APPROVED BY THE DC DOH

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**KAATERSKILL ASSOCIATES**  
SURVEYORS, ARCHITECTS AND ENGINEERS  
CAIRO, NY (518)622-9667

REV	DATE	DESCRIPTION	APP.
2	8/23/22	REVISED PER DOH COMMENT	SMO
1	7/18/22	REVISED PER DOH COMMENT	SMO

**PROPOSED SUBSURFACE DISPOSAL SYSTEM**  
FOR  
**PACE-FOLEY**  
43 BUTTS HOLLOW ROAD  
TAX MAP # 135889-6964-00-059898  
FILED MAP #10605, LOT 2  
TOWN OF WASHINGTON  
DUTCHESS COUNTY, NY

PROJECT: 86722.031  
DATE: 6/3/22  
SCALE: AS NOTED  
DRAWN BY: JCR  
DESIGNED BY: SMO  
CHECKED BY: SMO  
FILE: 86722031 SDS.DWG

**SDS-2**  
SHEET 2 OF 3



DC EHSO STANDARD NOTES FOR RESIDENTIAL PROJECTS WITH ONSITE WATER SOURCE & SEWAGE DISPOSAL

THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:

"APPENDIX 75-A, WASTE TREATMENT - INDIVIDUAL HOUSEHOLD SYSTEMS, NEW YORK STATE SANITARY CODE," "NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS", NYSDEC "RESIDENTIAL ONSITE WASTEWATER TREATMENT SYSTEMS, DESIGN HANDBOOK", NEW YORK STATE DEPARTMENT OF HEALTH.

"PLANNING THE SUBDIVISION AS PART OF THE TOTAL ENVIRONMENT", NEW YORK STATE DEPARTMENT OF HEALTH.

"NEW YORK STATE DEPARTMENT OF HEALTH AND DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION POLICIES, PROCEDURES AND STANDARDS."

"DUTCHESS COUNTY AND NEW YORK STATE SANITARY CODES."

"DUTCHESS COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION CERTIFICATE OF APPROVAL LETTER."

THIS PLAN IS APPROVED AS MEETING THE APPROPRIATE AND APPLIED TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES FOR ARRANGEMENT OF SEWAGE DISPOSAL AND TREATMENT AND WATER SUPPLY FACILITIES; AND, AS A CONDITION OF THIS APPROVAL, A CONSTRUCTION INSPECTION BY A REPRESENTATIVE OF THE DC EHSO SHALL BE DONE TO DETERMINE THAT CONSTRUCTION AT THE TIME OF INSPECTION WAS COMPLETED IN GENERAL CONFORMANCE WITH THE APPROVED PLANS AND ANY AMENDMENT THEREOF.

APPROVAL OF ANY PLAN(S) OR AMENDMENT THERETO SHALL BE VALID FOR A PERIOD OF 5 YEARS FROM THE DATE OF APPROVAL FOLLOWING THE EXPIRATION OF SAID APPROVAL, THE PLAN(S) SHALL BE RE-SUBMITTED TO THE COMMISSIONER OF HEALTH FOR CONSIDERATION FOR RE-APPROVAL. RE-SUBMISSION OR REVISED SUBMISSION OF PLANS AND/OR ASSOCIATED DOCUMENTS SHALL BE SUBJECT TO COMPLIANCE WITH THE TECHNICAL STANDARDS, GUIDELINES, POLICIES AND PROCEDURES IN EFFECT AT THE TIME OF THE RE-SUBMISSION.

THE DC EHSO SHALL BE CONTACTED PRIOR TO THE COMMENCEMENT OF THE HOME CONSTRUCTION AND/OR ISSUANCE OF A BUILDING PERMIT FOR A PRE-CONSTRUCTION INSPECTION TO ENSURE THAT THE ARRANGEMENTS FOR WATER SUPPLY AND SEWAGE DISPOSAL ARE COMMENCED IN ACCORDANCE WITH THE APPROVED PLANS AND AMENDMENTS THERETO AND GENERALLY ACCEPTED STANDARDS.

ALL WELLS AND ONSITE WASTEWATER TREATMENT SYSTEMS, EXISTING OR APPROVED, LOCATED WITHIN 300 FEET OF THE PROPOSED WELLS AND ONSITE WASTEWATER TREATMENT SYSTEM ARE SHOWN ON THIS PLAN ALONG WITH ANY OTHER ENVIRONMENTAL HAZARDS IN THE AREA THAT MAY AFFECT THE DESIGN AND FUNCTIONAL ABILITY OF THE ONSITE WASTEWATER TREATMENT SYSTEM AND WELL.

IF THE TANK IS DELIVERED TO THE SITE IN SECTIONS, THEN IT SHALL BE DEMONSTRATED BY THE CONTRACTOR TO THE DC EHSO FIELD INSPECTOR AND/OR DESIGN PROFESSIONAL THAT THE TANK IS SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THIS SHALL REQUIRE, AT A MINIMUM, THE FILLING OF THE TANK WITH WATER TO OBSERVE IF IT IS IN FACT SEALED, WATERTIGHT AND ACCEPTABLE FOR USE. THE TANK MUST ALSO MEET ANY LOCAL TESTING REQUIREMENTS, INCLUDING POSSIBLE ELECTRICAL AND SAFETY STANDARDS.

ALL PROPOSED WELLS AND SERVICE LINES ON THIS PLAN ARE ACCESSIBLE FOR INSTALLATION AND PLACEMENT.

NO CELLAR, FOOTING, FLOOR, GARAGE, COOLER OR ROOF DRAINS SHALL BE DISCHARGED INTO THE ONSITE WASTEWATER TREATMENT SYSTEM OR WITHIN 50 FEET OF ANY WELL.

ALL BUILDINGS SHALL BE CONSTRUCTED AT AN ELEVATION HIGH ENOUGH TO ENSURE GRAVITY FLOW TO THE ONSITE WASTEWATER TREATMENT SYSTEM.

THERE SHALL BE NO VEHICULAR TRAFFIC OVER THE ONSITE WASTEWATER TREATMENT SYSTEM, PRIOR TO CONSTRUCTION, THE AREA OF THE SYSTEM SHALL BE STAKED OUT AND FENCED OFF.

ONSITE WASTEWATER TREATMENT SYSTEMS SHALL NOT BE INSTALLED IN WET OR FROZEN SOIL.

ALL REQUIRED EROSION & SEDIMENT CONTROL AND STORMWATER POLLUTION PREVENTION WATER QUALITY & QUANTITY CONTROL STRUCTURES, PERMANENT AND TEMPORARY, ARE SHOWN ON THE PLANS.

THE UNDERSIGNED OWNERS OF THE PROPERTY HEREOF STATE THAT THEY ARE FAMILIAR WITH THIS MAP, ITS CONTENTS AND ITS LEGENDS AND HEREBY CONSENT TO ALL SAID TERMS AND CONDITIONS AS STATED HEREON.

ANY CONSTRUCTION OF AN ONSITE WASTEWATER TREATMENT SYSTEM AND/OR WATER SUPPLY ON AN AREA OF AN EXISTING LOT(S) WHICH IS NOT EXISTING AT THE TIME OF THIS APPROVAL BUT WAS APPROVED AS PART OF THIS APPROVAL SHALL BE INSPECTED AND APPROVED BY THE DC EHSO PRIOR TO USE.

A SEPTIC TANK EFFLUENT FILTER, IF PROVIDED, MUST BE ACCESSIBLE VIA A WATERTIGHT, LOCKABLE EXTENSION TO GRADE, BE NSF STAND 48 COMPLIANT, AND BE THE RESPONSIBILITY OF THE APPLICANT/SITE OWNER TO MAINTAIN IN CONFORMANCE WITH MANUFACTURER REQUIREMENTS.

DIG SAFELY NEW YORK. 1-800-962-7962. CALL BEFORE YOU DIG. WAIT THE REQUIRED TIME. CONFIRM UTILITY RESPONSE. RESPECT THE MARKS. DIG WITH CARE.

THERE SHALL BE NO BENDS IN THE RAW LINE.

OBJECTS AND STRUCTURES SUCH AS DRIVEWAYS, SWIMMING POOLS, SHEDS OR DECKS SHALL NOT BE CONSTRUCTED ABOVE SEPTIC TANKS, DISTRIBUTION BOXES, AND ABSORPTION AREAS.

ONSITE WASTEWATER TREATMENT SYSTEMS ARE NOT DESIGNED TO RECEIVE MACERATED WASTEWATER FROM GARBAGE GRINDERS, OR BASEMENT FLUSH PUMPS.

ALL CONDITIONS SHOWN ON FILED MAP 10605 SHALL REMAIN IN EFFECT UNLESS SPECIFICALLY SUPERSEDED BY THE DESIGN SHOWN HEREON.

GENERAL

THESE DRAWINGS PRESENT A PROPOSED SUBSURFACE SEWAGE TREATMENT SYSTEM DESIGN. THE HOUSE, WELL, DRIVEWAY, AND ANY SIMILAR FEATURES ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY. NO REPRESENTATION IS MADE THAT THE LOCATIONS OF SUCH FEATURES ARE IN COMPLIANCE WITH APPLICABLE LOCAL, STATE, OR FEDERAL REQUIREMENTS. HOUSE, DRIVEWAY, AND WELL LOCATIONS AND DESIGNS ARE TO BE AT THE DIRECTION OF THE PROPERTY OWNER/CLIENT, PROVIDED THAT SUCH LOCATIONS AND DESIGNS ARE IN COMPLIANCE WITH THE REQUIREMENTS OF NYS DOH APPENDIX 75-A, AND ANY OTHER APPLICABLE FEDERAL, STATE, OR LOCAL REGULATIONS.

THE APPROVED DRAWINGS SHALL BE ON SITE AT ALL TIMES DURING CONSTRUCTION.

DISCREPANCIES IN THE DRAWINGS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

THESE DRAWINGS MAY PRESENT DRAINAGE IMPROVEMENTS AS APPROPRIATE TO PROTECT THE PROPOSED SUBSURFACE SEWAGE TREATMENT SYSTEM. THESE DRAWINGS DO NOT PRESENT A COMPLETE DRAINAGE PLAN FOR THE BUILDING LOT. IT IS RECOMMENDED THAT (1) THE EXISTING DRAINAGE PATTERNS NOT BE SIGNIFICANTLY ALTERED BY THE PROPOSED DEVELOPMENT OF THE SITE AND (2) THE PROPERTY OWNER/CLIENT COORDINATE WITH THE APPLICABLE STATE, COUNTY, OR LOCAL HIGHWAY DEPARTMENT WHERE NEW DRIVEWAYS ARE TO BE CREATED.

THIS SITE PLAN IS PARTIALLY BASED ON FIELD WORK PERFORMED BY KAATERSKILL ASSOCIATES. PROPERTY LINE LOCATIONS SHOWN ARE BASED ON BOUNDARY SURVEY PERFORMED BY KAATERSKILL ASSOCIATES. THIS IS NOT A SURVEY. CONTRACTOR SHALL VERIFY ALL PROPERTY LINES PRIOR TO CONSTRUCTION.

ENGINEER WILL NOT SUPERVISE, DIRECT, CONTROL OR HAVE AUTHORITY OVER, OR BE RESPONSIBLE FOR CONTRACTOR'S MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION, OR THE SAFETY PRECAUTIONS AND PROGRAMS INCIDENT THERETO OR FOR ANY FAILURE OF CONTRACTOR TO COMPLY WITH LAWS AND REGULATIONS APPLICABLE TO THE FURNISHING OR PERFORMANCE OF THE WORK. ENGINEER WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM OR FURNISH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

CONTRACTOR IS RESPONSIBLE FOR THE LAYING OUT OF HIS OWN WORK.

THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND MEASUREMENTS PRIOR TO CONSTRUCTION AND CONTACT THE ENGINEER REGARDING ANY DISCREPANCIES.

CONTRACTOR SHALL LOCATE EXISTING UNDERGROUND UTILITIES. IF THE LOCATION OF EXISTING UTILITIES AFFECTS PROPOSED DESIGN, CONTRACTOR SHALL NOTIFY ENGINEER.

DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND THE GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. ALL WORK SHALL, AS A MINIMUM, CONFORM TO THE LATEST EDITION OF THE FOLLOWING REGULATIONS: NYS DOH APPENDIX 75-A.

FLOOR DRAINS, FOUNDATION DRAINS, OR STORM DRAINS OF ROOF GUTTERS SHALL NOT DISCHARGE INTO THE SUBSURFACE SEWAGE TREATMENT SYSTEM. BACKWASH FROM WATER SOFTENING DEVICES SHALL NOT DISCHARGE INTO THE SUBSURFACE SEWAGE TREATMENT SYSTEM.

CONSTRUCTION PROCEDURES

THE DESIGN ENGINEER SHALL OBSERVE CONSTRUCTION AND SHALL ADVISE, IN WRITING, TO THE APPLICABLE REGULATORY AGENCY, WHEN SYSTEM CONSTRUCTION HAS BEEN SUBSTANTIALLY COMPLETE.

CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AND APPLICABLE REGULATORY AGENCY A MINIMUM OF 48 HOURS IN ADVANCE OF ANY TESTING OR BACKFILLING OF APPURTENANCES TO SATISFY ALL CONSTRUCTION OBSERVATION REQUIREMENTS. ENGINEER SHALL NOT APPROVE THE SYSTEM CONSTRUCTION AS SUBSTANTIALLY CONFORMING TO THE DESIGN IF BACKFILLING IS PERFORMED PRIOR TO OBSERVATION. THE APPLICABLE REGULATORY AGENCY REQUIREMENTS MAY BE DIFFERENT THAN THOSE REQUIRED BY ENGINEER ON THESE DRAWINGS.

CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING ALL LABOR, EQUIPMENT, AND MATERIALS TO PERFORM ALL TESTING OR CONSTRUCTION OBSERVATIONS REQUIRED BY APPLICABLE REGULATORY AGENCY OR THE DESIGN ENGINEER.

CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS TO ENGINEER FOR REVIEW AND APPROVAL FOR ANY SYSTEM COMPONENTS WHICH DO NOT CONFORM TO THOSE SHOWN.

THE CONTRACTOR SHALL PROTECT THE PRIMARY AND RESERVE AREAS FROM ANY ACTIVITY THAT COULD COMPACT THE SOIL UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL IMPLEMENT EROSION CONTROL MEASURES AS NEEDED TO PREVENT EROSION IMPACTS TO WATER BODIES, PUBLIC ROADWAYS, OR OTHER LANDS OUTSIDE OF THE PROJECT AREA. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION CONTROL.

WHERE A SITE CONTAINS PROPOSED DRAINAGE IMPROVEMENTS (CURTAIN DRAIN, SWALE, ETC.) UPHILL FROM A PROPOSED ABSORPTION FIELD, THESE DRAINAGE IMPROVEMENTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF THE ABSORPTION FIELD.

CONTRACTOR SHALL REMOVE ALL DEBRIS DAILY AND CLEAN AREA THOROUGHLY AFTER COMPLETION.

CONTRACTOR SHALL SUPPLY ENGINEER WITH AN "AS-BUILT" SKETCH SHOWING TRIANGULATED MEASUREMENTS TO SYSTEM COMPONENTS FROM FIXED POINTS ON THE SITE.

CONCRETE STRUCTURES

ALL CONCRETE SEPTIC TANKS, DISTRIBUTION BOXES, DOSING CHAMBERS, ETC. SHALL BE PRECAST REINFORCED CONCRETE CAPABLE OF WITHSTANDING A LOAD OF 500 PSF.

ALL CONCRETE SEPTIC TANKS ARE TO BE A DUAL COMPARTMENT TANKS WITH APPROPRIATE EFFLUENT FILTER.

ALL TANKS SHALL BE BEDDED ON A MINIMUM OF 12" SAND OR PEA GRAVEL.

ALL PROPOSED TANKS SHALL HAVE A MINIMUM OF 6" COVER.

ALL PROPOSED TANKS SHALL HAVE RISERS TO GRADE IF REQUIRED BY SITE CONDITIONS UNLESS OTHERWISE NOTED.

ALL PROPOSED TANKS SHALL BE OF WATERTIGHT CONSTRUCTION. ALL PENETRATIONS SHALL BE MADE WATERTIGHT.

PIPING

HOUSE PLUMBING AND HOUSE SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL STANDARDS.

UNLESS OTHERWISE NOTED ON THESE DRAWINGS, GRAVITY PIPING BETWEEN THE HOUSE AND THE ABSORPTION FIELD IN THE SEPTIC SYSTEM SHALL BE 4" PVC, SCHEDULE 40 OR SDR 35. PRESSURE PIPING SHALL BE 2" HDPE OR PVC, SCHEDULE 80 OR SDR 21. DISTRIBUTION PIPING SHALL BE 4" PERFORATED PVC.

ALL JOINTS IN THE PIPING SHALL BE SEALED WITH AN APPROPRIATE PVC-SOLVENT CEMENT.

UNLESS OTHERWISE NOTED, ALL PIPING SHALL BE INSTALLED WITH A POSITIVE SLOPE AND WITHOUT ANY LOW SPOTS.

ALL PIPING SHALL HAVE A MINIMUM 12" OF SOIL COVER.

PIPING TO BE LOCATED IN VEHICULAR TRAFFIC AREAS SHALL BE SLEEVED IN STEEL OR IRON PIPE OF LARGER DIAMETER. SAND OR SIMILAR BEDDING MATERIAL SHALL BE PLACED AROUND PVC PIPE WITHIN SLEEVE. CONTRACTOR SHALL REVIEW SLEEVE METHOD AND MATERIALS WITH ENGINEER PRIOR TO PIPE INSTALLATION.

WHERE PIPES CROSS BENEATH DRAINAGE FEATURES OR THROUGH CURTAIN DRAINS, THERE SHALL BE NO PIPE JOINT WITHIN 4' OF THE DRAINAGE FEATURE OR CURTAIN DRAIN.

CLAY DAMS SHALL BE INSTALLED AS SHOWN ON THESE PLANS AND AS APPROPRIATE TO MITIGATE MOVEMENT OF GROUNDWATER THROUGH PIPE BEDDING. CLAY DAMS SHALL CONSIST OF A 2' THICK LAYER OF LOW PERMEABILITY MATERIAL USED IN PLACE OF NORMAL BEDDING MATERIAL.

GRAVITY DISTRIBUTION SYSTEM

DISTRIBUTION BOX OUTLETS SHALL BE AT THE SAME ELEVATION AND SHALL BE EQUIPPED WITH "SPEED LEVELING" DEVICES.

DISTRIBUTION BOX BAFFLE SHALL BE CONSTRUCTED OF CONCRETE BRICK MORTARED IN PLACE.

GRAVEL FOR ABSORPTION SYSTEMS SHALL BE 3/4" - 1 1/2" WASHED GRAVEL OR CLEAN CRUSHED STONE. GRAVEL OR CRUSHED STONE CONTAINING SILT, DIRT OR OTHER FINE MATERIALS OR DEBRIS SHALL NOT BE CONSIDERED ACCEPTABLE.

PERMEABLE GEOTEXTILE FILTER FABRIC MAY BE USED INSTEAD OF STRAW OR UNTREATED BUILDING PAPER TO COVER ABSORPTION FIELD TRENCHES.

GRADING

THE AREA UPHILL FROM THE PROPOSED SYSTEM SHALL BE REGRADED OR PROVIDED WITH A SHALLOW SWALE AS APPROPRIATE TO DIRECT SURFACE WATER AWAY FROM SYSTEM AREA.

UNLESS OTHERWISE NOTED ON THE DRAWINGS, NO FINISHED SLOPES SHALL EXCEED 3 HORIZONTAL TO 1 VERTICAL.

TOPSOIL SHALL NOT HAVE ROOTS, PLANTS, SOD, STONES, CLODS, CLAY LUMPS, POCKETS OF COARSE SAND, CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, BUILDING DEBRIS, AND OTHER EXTRANEEOUS MATERIALS HARMFUL TO PLANT GROWTH.

CONTRACTOR SHALL SEED AND MULCH AREA IMMEDIATELY AFTER COMPLETION OF SYSTEM INSTALLATION AND AFTER INSTALLATION OF APPURTENANCES TO PROTECT THE SITE FROM EROSION. CONTRACTOR SHALL MAINTAIN AREA UNTIL PROPER GERMINATION HAS TAKEN PLACE, AT WHICH TIME FURTHER MAINTENANCE IS NOT REQUIRED.

CONSTRUCTION MEETING/OBSERVATIONS

A PRECONSTRUCTION MEETING WITH ENGINEER, CONTRACTOR, AND APPLICABLE REGULATORY AGENCY SHALL BE CONDUCTED PRIOR TO CONSTRUCTION TO REVIEW SYSTEM CONSTRUCTION. ENGINEER WILL COORDINATE THE PRECONSTRUCTION MEETING.

ENGINEER SHALL PERFORM PERCOLATION TESTING IN FILL MATERIAL AFTER FILL MATERIAL HAS BEEN INSTALLED. ENGINEER WILL NOT PERFORM PERCOLATION TESTING IF THE FILL MATERIAL INSTALLATION IS NOT SUBSTANTIALLY COMPLETE.

OBSERVATION OF ABSORPTION FIELD (TRENCHES OR BED) AND PRIMARY AND DOSING TANKS PRIOR TO BACKFILL: SUFFICIENT PORTIONS OF THE ABSORPTION FIELD SHALL BE EXPOSED TO ALLOW FOR THOROUGH OBSERVATION OF THE GRAVEL AND TO ALLOW FOR ELEVATION READINGS AT A MINIMUM OF 3 LOCATIONS ON EACH DISTRIBUTION PIPE WITH INTERVALS NOT TO EXCEED 25' IN LENGTH. SEPTIC TANKS SHALL BE SUFFICIENTLY EXPOSED TO ALLOW FOR OBSERVATION OF TANK BEDDING.

PUMP CHAMBER OR DOSING CHAMBER OBSERVATION: CONTRACTOR SHALL HAVE WATER AVAILABLE FOR TESTING OF THE DOSING SYSTEM. FOR PUMP SYSTEMS, ALL ELECTRICAL WORK SHALL BE COMPLETE. FOR PRESSURE DISTRIBUTION SYSTEMS TEMPORARY RISER PIPES SHALL BE PROVIDED.

FINAL OBSERVATION: AFTER ALL WORK HAS BEEN COMPLETED, INCLUDING SITE RESTORATION, FINAL GRADING, SEEDING, AND MULCHING CONTRACTOR SHALL CONTACT ENGINEER FOR FINAL OBSERVATION.

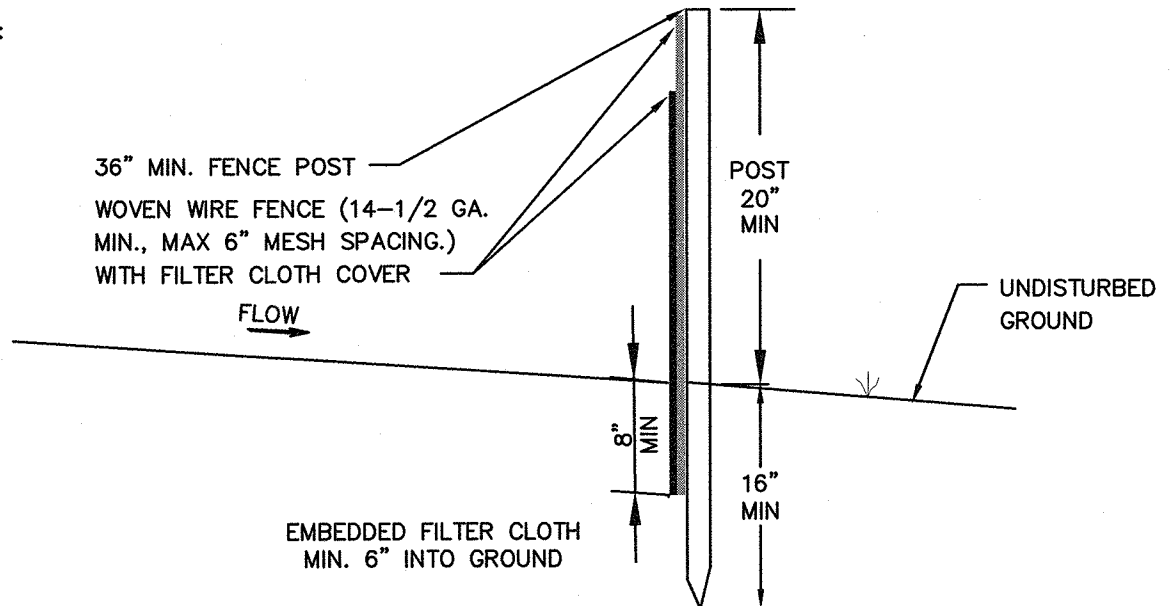
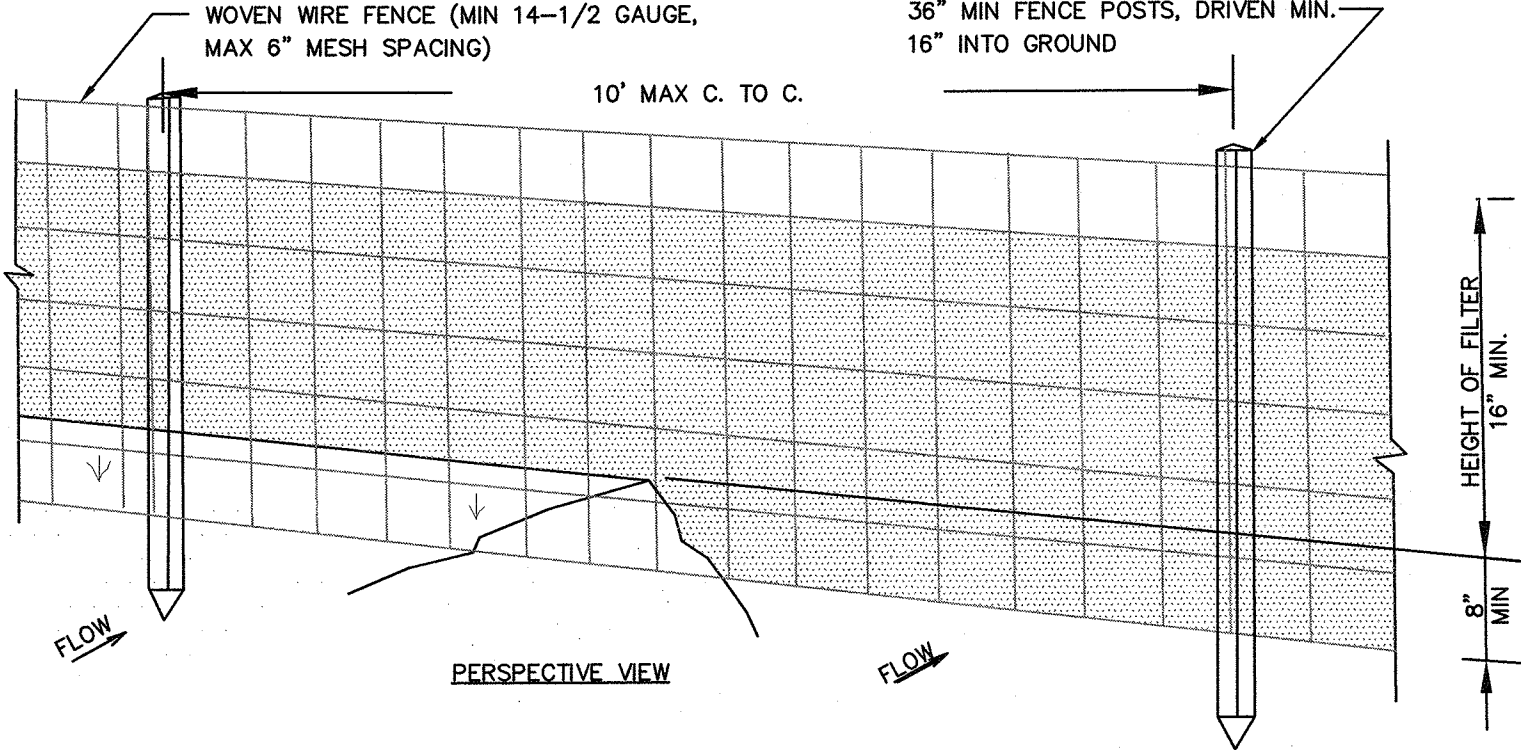
ENGINEER SHALL BILL CLIENT FOR ANY SITE VISITS IN EXCESS OF THE SITE VISITS SPECIFIED ABOVE, IN AN AMOUNT SPECIFIED IN THE AGREEMENT BETWEEN THE ENGINEER AND THE CLIENT. OWNER/CLIENT MAY BACK CHARGE CONTRACTOR AN EQUAL AMOUNT.

NOTES:

1. MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100' OF FENCE.
2. MAXIMUM PONDING DEPTH OF 1.5' BEHIND THE FENCE.
3. ALL SILT FENCES SHALL BE PLACED AS CLOSE TO THE AREAS AS POSSIBLE, BUT AT LEAST 10' FROM THE TOE OF A SLOPE.
4. THE AREA BEYOND THE FENCE MUST BE UNDISTURBED OR STABILIZED.
5. SENSITIVE AREAS TO BE PROTECTED BY SILT FENCE MAY NEED TO BE REINFORCED BY USING HEAVY WIRE FENCING FOR ADDED SUPPORT TO PREVENT COLLAPSE.
6. WHERE ENDS OF FILTER CLOTH COME TOGETHER, THEY SHALL BE OVERLAPPED, FOLDED, AND STAPLED TO PREVENT SEDIMENT BYPASS.

MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUNOFF TO A SILT FENCE PLACED ON A SLOPE ARE:

SLOPE STEEPNESS	MAXIMUM LENGTH (FEET)
2:1	25
3:1	50
4:1	75
5:1 OR FLATTER	100



① SILT FENCE DETAIL

SCALE: N.T.S.

WELL DECOMMISSIONING

THE EXISTING WELL MUST BE DECOMMISSIONED IN ACCORDANCE WITH NYSDOH FACT SHEET 4

WELL DECOMMISSIONING METHODS

PRIOR TO ABANDONMENT OF ANY WELL THE PUMP, DROP PIPE, ELECTRICAL CONTROLS, ETC. MUST BE REMOVED FROM THE CASING, LEAVING THESE ITEMS INSIDE THE WELL CASING WILL CAUSE VOIDS WHEN FILLING THE WELL, WHICH MAY INCREASE THE POSSIBILITY OF CONTAMINATION OF THE WELL AND LOCAL AQUIFERS.

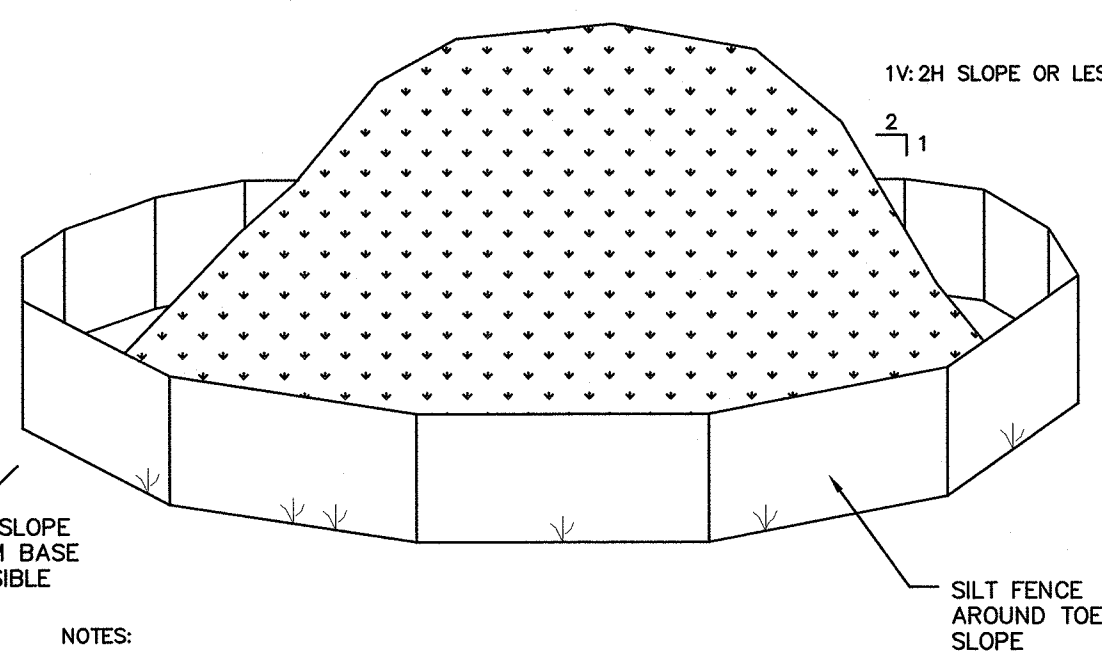
DRIVEN POINTS MADE OF SMALL DIAMETER PIPE SHOULD BE PULLED OUT OF THE GROUND. THE HOLE SHOULD BE FILLED WITH GROUT IF POSSIBLE. THE AREA SHOULD BE GRADED SO THAT SURFACE WATER FLOWS AWAY FROM THE ABANDONED WELL LOCATION.

DUG WELLS SHOULD BE BACK FILLED WITH SOIL SIMILAR TO SURROUNDING SOILS, AND COMPACTED TO MATCH THE SURROUNDING SOILS. BROKEN CONCRETE, WOOD, OR OTHER DEBRIS SHOULD NOT BE USED AS BACKFILL. PRIOR TO BACK FILLING, THE SIDE WALL LINING OF THE DUG WELL SHOULD BE REMOVED TO THE FULL DEPTH IF SAFETY CAN BE MAINTAINED OR TO AT LEAST FOUR FEET BELOW GROUND LEVEL. DUG WELLS THAT HAVE PENETRATED FRACTURED ROCK SHOULD HAVE A CEMENT OR GROUT SEAL PLACED IN THE ROCK SECTION PRIOR TO BACK FILLING. AFTER BACK FILLING, THE AREA SHOULD BE GRADED SO THAT SURFACE WATER FLOWS AWAY FROM THE ABANDONED WELL LOCATION.

DRILLED WELLS CAN BE DIFFICULT TO DECOMMISSION PROPERLY. WHENEVER PRACTICAL, THE WELL CASING SHOULD BE PULLED OUT OF THE GROUND OR OVERDRILLED, AND THE LENGTH OF THE DRILL HOLE SEALED WITH GROUT. WHEN FULL CASING REMOVAL IS IMPRACTICAL, THE ENTIRE LENGTH OF THE DRILLHOLE INCLUDING CASING INTERIOR SHOULD BE GROUTED, AND THE CASING CUT OFF AT LEAST FOUR FEET BELOW GROUND. WELL CASINGS THAT PENETRATE MULTIPLE AQUIFERS SHOULD BE PERFORATED PRIOR TO PRESSURE GROUTING THE INTERIOR. AFTER BACK FILLING, THE AREA SHOULD BE GRADED SO THAT SURFACE WATER FLOWS AWAY FROM THE ABANDONED WELL LOCATION.

USING GROUTS EFFECTIVE GROUTING REQUIRES CAREFUL PLACEMENT TO ENSURE NO VOIDS ARE LEFT IN THE WELL AND THAT THE SEAL IS COMPLETE. REGISTERED WELL DRILLERS CAN ENSURE PROPER GROUT SELECTION AND INSTALLATION.

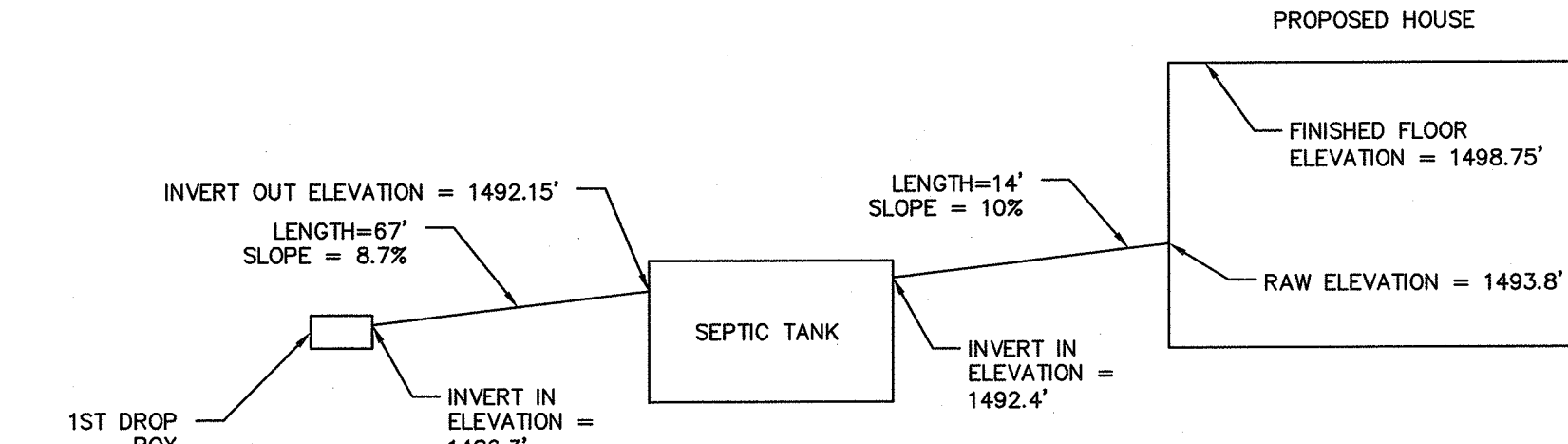
GROUT IS A MATERIAL THAT HAS A LOW PERMEABILITY, SUCH AS NEAT CEMENT, BENTONITE SLURRY, BENTONITE CHIPS, BENTONITE PELLETS, GRANULAR BENTONITE, OR OTHER MATERIALS THAT HAVE EQUIVALENT SEALING PROPERTIES. NUMEROUS GROUT PRODUCTS ARE AVAILABLE, AND A PROPER MATCH OF GROUT TO METHOD IS ESSENTIAL.



- NOTES:
1. AREAS CHOSEN FOR STOCKPIILING OPERATIONS SHALL BE DRY AND STABLE.
  2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1v:2h.
  3. UPON COMPLETION OF SOIL STOCKPIILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCE, THEN STABILIZED WITH VEGETATION (SEED AND MULCH), OR COVERED WITH PLASTIC.
  4. SEE SILT FENCE DETAIL FOR INSTALLATION SPECIFICATIONS.
  5. IF STOCKPILES ARE LOCATED IN PAVED AREAS HAY BALES OR SILT SOCKS MAY BE USED.

② MATERIAL STOCKPILE

SCALE: N.T.S.



③ SEWER ELEVATIONS

SCALE: N.T.S.

NOT FOR CONSTRUCTION UNTIL APPROVED BY THE DC DOH

IT IS THE INTENT OF THIS DRAWING TO DESCRIBE A FUNCTIONALLY COMPLETE PROJECT (OR PART THEREOF) TO BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ANY WORK, MATERIALS OR EQUIPMENT THAT MAY REASONABLY BE INFERRED FROM THE CONTRACT DOCUMENTS OR FROM PREVAILING CUSTOM OR TRADE USAGE AS BEING REQUIRED TO PRODUCE THE INTENDED RESULT WILL BE FURNISHED AND PERFORMED WHETHER OR NOT SPECIFICALLY CALLED FOR AT NO ADDITIONAL COST TO THE OWNER.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON TO ALTER THESE PLANS, SPECIFICATIONS OR REPORTS IN ANY WAY, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL (ARCHITECT, ENGINEER, LANDSCAPE ARCHITECT, SURVEYOR).

**KAATERSKILL ASSOCIATES**  
SURVEYORS, ARCHITECTS AND ENGINEERS  
CAIRO, NY (518)622-9667

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**PROPOSED SUBSURFACE DISPOSAL SYSTEM**  
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**PACE-FOLEY**  
43 BUTTS HOLLOW ROAD  
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FILED MAP #10605, LOT 2  
TOWN OF WASHINGTON  
DUTCHESS COUNTY, NY

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DRAWING:  
**SDS-3**  
SHEET 3 OF 3